



# NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

## SUBDIVISION & LAND DEVELOPMENT APPLICATION

1.	Date of Application:	<u>2/20/2026</u>	<b>TOWNSHIP USE ONLY</b>	
2.	Date of Plan or Revision:	<u>1/20/2026</u>	Date Received: <u>3/12/26 ddw</u>	
3.	Application for (check all that apply):		Payment: <u>600</u>	
	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final	<input checked="" type="checkbox"/> Prelim/Final
4.	Name of Subdivision or Land Development:	<u>454 New Galena Road</u>	Check #: <u>214</u>   <u>216</u>	
5.	Location:	<u>New Galena Road and Sellersville Road</u>	Receipt #: <u>19020</u>   <u>19021</u>	
6.	Tax Map Parcel #: 26- <u>001-073</u>	Total Acreage: Gross <u>15.7 Ac.</u>	Escrow Amt: <u>10000</u>	
			PSA #: _____	
7.	Net Buildable Site Area (from Section 2401):	<u>12.8 Ac.</u>	Base Site Area <u>12.8 Ac.</u>	
8.	Zoning Requirements:			
	Zoning District: <u>SR-2</u>	Minimum Lot Size: <u>2 Ac.</u>	Maximum Density: <u>--</u>	
	Front Yard: <u>50</u>	Side Yard: <u>25</u>	Rear Yard: <u>75</u>	
9.	Number of Lots or Dwelling Units:	<u>2</u>		
10.	Equitable Owner of Record of Land:	<u>Richard, Blake &amp; Eileen Calvitti</u>		
	Address:	<u>454 New Galena Road</u>		
	Phone:	<u>215-779-6784</u>	E-mail: <u>Mark@Calvitticompany.com</u>	
11.	Applicant:	<u>Richard, Blake &amp; Eileen Calvitti</u>		
	Address:	<u>454 New Galena Road</u>		
	Phone:	<u>215-779-6784</u>	E-mail: <u>Mark@Calvitticompany.com</u>	
12.	Attorney:	<u>Chelsey D. Crocker Jackman, Esq.</u>		
	Address:	<u>680 Middletown Boulevard, Langhorne PA 19047</u>		
	Phone:	<u>215-750-0110</u>	E-mail: <u>cjackman@begleycarlin.com</u>	
13.	Registered Engineer or Surveyor:	<u>Robert Cunningham, PE</u>		
	Address:	<u>409 East Butler Avenue, Unit 5 Doylestown, PA 18901</u>		
	Phone:	<u>215-586-3330</u>	E-mail: <u>rob@hcengineering.net</u>	
14.	Type of Water & Sewer:	<input type="checkbox"/> Public Water <input checked="" type="checkbox"/> Private Water <input checked="" type="checkbox"/> Public Sewer <input type="checkbox"/> Private Sewer		
15.	Proposed Use:	<u>Single Family Dwellings</u>		

This is to certify that I have read Article V of the New Britain Township Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of that Article to the best of my knowledge.

[Signature]  
Signature of Applicant

[Signature]  
Signature of Registered Engineer or Surveyor

## SUBDIVISION & LAND DEVELOPMENT PLAN SUBMISSION CHECKLIST

Date of Application: 2/20/2026

Subdivision/Land Development Name: 454 New Galena Road

Address of Property: New Galena Road and Sellersville Road

Owner(s) Name: Richard, Blake & Eileen Calvitti

Applicant(s) Name: Richard, Blake & Eileen Calvitti

Tax Map Parcel Number: 26- 001-073

### **Plan Sets for New Britain Township - Folded to 8 1/2 x 11: (9 Full Size, 5 11x17)**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> NBT Board of Supervisors (Full Size) - 5 Copies | <input checked="" type="checkbox"/> NBT Planning Commission (11x17) - 2 Copies         |
| <input checked="" type="checkbox"/> Township Engineer (Full Size) - 1 Copy          | <input checked="" type="checkbox"/> NBT File (Full Size) - 2 Copies                    |
| <input checked="" type="checkbox"/> Fire Marshal (Full Size) - 1 Copy               | <input checked="" type="checkbox"/> Digital Submission - Email or File Sharing Service |

**Application Forms & Fees to be Submitted to the Township:** *All applicants include these items or the application will be considered administratively incomplete and returned to the applicant. **Please also submit digital copies of all applicable forms/reports.***

- New Britain Township Subdivision and Land Development Application (1 Signed Original)
- Filing Fee according to the most current Fee Schedule adopted by Resolution
- Escrow Fee according to the most current Fee Schedule adopted by Resolution
- Contract for Professional Services Agreement (3 Signed Originals)
- Proof of Submission to Bucks County Planning Commission
- Proof of Submission to Bucks County Conservation District
- Proof of Submission to Water Authority (North Penn/North Wales/Aqua), if applicable
- Proof of Submission to Chalfont New Britain Joint Sewer Authority **OR** Buck County Department of Health
- Stormwater Management Report (2 Copies) (Digital Acceptable)
- PADEP Sewage Facilities Planning Module Application/Mailer approved by Sewer Authority or SEO (Original & 2 Copies)
- Traffic Impact Study, if applicable (2 Copies) (Digital Acceptable)
- PADOT Highway Occupancy Permit Plan/Application, if applicable (2 Copies)
- Community Impact Assessment Report, if applicable (4 Copies)
- Affidavit of Mailing Notification, Mailing Content & Post Property of SLD Application (§ 22-401.8 General Procedures)
- Township Road Opening Permit, if applicable
- Water Resource Impact Study, if applicable (2 Copies) (Digital Acceptable)
- Waiver Request Letter with Justification

Reviewed By: \_\_\_\_\_  
Township Representative

Date: \_\_\_\_\_

*\*All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.*

**\*\*The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.\*\***



# NEW BRITAIN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT PROCEDURES INFORMATION FOR APPLICANTS

## **Applications:**

All formal applications must be submitted to the Township Zoning Officer during regular office hours.

All required plans, fees and accompanying documentation must be submitted to the Township in accordance with the New Britain Township Plan Submission Checklist (attached). No application shall be considered complete without this information.

If the application is found to be incomplete, the Zoning Officer will advise the applicant, in writing, of the deficiencies within five (5) business days.

If the application is found to be complete, the application will be date-stamped and a letter will be forwarded to the applicant with the anticipated application processing dates and scheduled Planning Commission and Board of Supervisor's meeting dates. The application will then be distributed for review to the Township professional staff, boards, commissions and professional consultants.

*If for any reason the Planning Commission does not meet within 30 days of the initial application filing approval date of the Township Zoning Officer, the Municipalities Planning Code (MPC) timetable for plan review processing will then automatically begin, unless waived by the applicant.*

## **Review Process:**

Upon receipt of the Township Engineer's review letter, it is recommended that the applicant conference with Township staff and/or the Township Engineer prior to the scheduled Planning Commission meeting when the Planning Commission would consider the application for a recommendation. During the conference, if it is determined that the application will require substantial revisions for compliance with Township ordinances, the Township staff and/or engineer will advise the applicant of an appropriate course of action for revising the application. An extension/waiver to the 90-day limit (attached to SALDO Application), as set forth by the MPC, may be necessary to allow sufficient time for the applicant to make necessary plan revisions and for Township staff and its engineer to review the revised application.

All revised applications must be resubmitted directly to the Township Zoning Officer. It shall be the responsibility of the applicant to submit the same number of revised plans to the Township as with the original application.

## **Recommendations and Plan Decisions:**

The applicant is responsible for posting the property, notifying property owners within 1000ft (or adjoining owners for minor plans), and submitting an affidavit of mailing & the mailings content to the Township five days prior to the plans appearing before the Township Planning Commission (§ 22-401.8 General Procedures).

The Planning Commission in its review shall consider the comments, if submitted, of the Bucks County Planning Commission, Fire Marshal, Bucks County Conservation District and Township professional staff and consultants. At their anticipated monthly meeting, the Planning Commission may do any of the following:

- Recommend that the applicant address plan deficiencies or unresolved planning issues with Township staff.
- Recommend to the Board of Supervisors that the plan be approved with conditions and specifically list such conditions.
- Recommend to the Board of Supervisors that the plan be denied and specifically list the reasons for such a recommendation.

The Board of Supervisors shall take official action on all applications, after receiving the Township engineer's report and the recommendation by the Planning Commission and within the 90-day time limit, unless the applicant grants a time extension/waiver. The action of the Board of Supervisors shall be in writing and communicated to the applicant by mail within five (5) days following the date of the official action.



## **Record Plans:**

Final record plans to be recorded must be submitted ***directly to the Township Engineer*** for review and execution prior to approval by the Board of Supervisors. The plans must include four (4) paper copies of the record plan(s). **All record plans must bear the original seal and signature and title of the professional engineer or land surveyor responsible for preparation of the plans and bear the notarized signature of the land owner(s).** At the time of record plan submission, five (5) complete paper sets of construction drawings should be submitted to the Township Engineer to be stamped approved for construction.

No final record plans shall be recorded for any project unless all of the following have been satisfied:

- All conditions of final approval have been met (including water and sewer approvals/agreement) and approved by Township Solicitor and Engineer.
- All required outside agency approvals/permits have been obtained.
- All Township legal, engineering, planning and administrative costs relative to the plan submission have been paid in full.
- The required financial security and developer's agreements have been executed and the construction escrow has been posted with the Township.

The Township Solicitor will record all final record plans at the Bucks County Courthouse. The Township will notify the applicant when the copies of the recorded plans are available to be picked up at the Township Zoning Office.

## **Contract for Professional Services Agreement and Professional Escrows:**

The applicant shall be responsible for maintaining the original escrow balance relative to the escrow account established with the Township for the payment of Township incurred costs and fees on behalf of the applicant per the Contract for Professional Services Agreement. The Township shall forward an invoice to the applicant setting forth the amount deducted from said escrow account for payment of costs and fees. Within fourteen (14) days of the date of the invoice, the applicant shall remit the amount of the invoice to the Township, thereby bringing the balance of the escrow back to the original amount. In the event the applicant's escrow account balance falls below the original amount, the Township may direct its professionals and consultants to cease work on the applicant's submission until such time as the escrow account balance is restored to its original amount.

Any applicant who desires to meet with the Township's professionals or consultants prior to submitting a plan application shall execute a Contract for Professional Services Agreement with the Township and post an escrow amount to be determined therein to cover any costs incurred by the Township associated with the aforementioned consultations.

The applicant should also be advised that the Township has enacted a "Disclosure Ordinance No. 2001-09-01" which mandates that the seller of any lot divulge certain information to the purchaser of the lot prior to settlement.

***\*These guidelines may be amended from time to time, as needed.***




**NEW BRITAIN TOWNSHIP  
90-DAY REVIEW PERIOD WAIVER**

I/We, the applicant, understand that the time necessary for adequate review of this application and plans for compliance with current Zoning and Subdivision & Land Development Ordinances, including reviews of any revised plans, may exceed the 90-day review period stipulated under the Municipalities Planning Code.

In recognition of the above, I/we hereby waive the 90-day review period, with the understanding that I/we may revoke this waiver at any time in the future, upon 30-day written notice to the New Britain Township Zoning Officer.

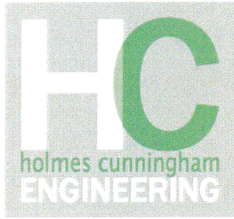
Name of Subdivision/Land Development: 454 New Galena Road

Tax Map Parcel Number(s): 26- 001-073

Signature of Applicant:  Date: 2/20/26

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_





Kristin Holmes, P.E., LEED AP  
Robert Cunningham, P.E., LEED AP

March 17, 2026

New Britain Township  
207 Park Avenue  
Chalfont, PA 18914

**RE: 454 New Galena Road – Notification Affidavit**  
**TMP#: 26-001-073**  
**New Britain Township, Bucks County, PA**  
**HCE Project No.: 2183**

Dear Mr. Fox:

On behalf of the applicant, Richard, Blake & Eileen Calvitti, please accept this letter as an affidavit that the required notifications of the 454 New Galena Road Minor Subdivision and Land Development project were sent by our office to all property owners adjacent to the subject property (TMP# 26-001-073). The notices were mailed on March 17, 2026.

Enclosed you will find a copy of the 454 New Galena Road Notification Letter dated March 17, 2026, and a Name and Address List of property owners being notified.

If you have any questions or require additional information, please do not hesitate to contact us at 215-586-3330 or [rob@hcengineering.net](mailto:rob@hcengineering.net)

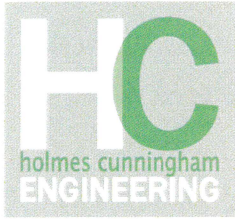
Very truly yours,  
**Holmes Cunningham Engineering**

A handwritten signature in black ink, appearing to read 'Rob Cunningham'.

Robert Cunningham P.E.  
Partner

cc: Mark Calvitti

O:\2183 - 454 New Galena Road\Outbound\Notification Affidavit 2026-03-17.docx



Kristin Holmes, P.E., LEED AP  
Robert Cunningham, P.E., LEED AP

March 17, 2026

**Re: 454 New Galena Road  
TMP# 26-001-073  
New Britain Township, Bucks County, PA**

To Whom It May Concern,

Richard, Blake & Eileen Calvitti have submitted an application for a preliminary review for Minor Subdivision and Land Development for the approximately 15-acre parcel (TMP# 26-001-073) located at 454 New Galena Road. The current legal owner of the property is Richard, Blake, & Eileen Calvitti whose address is 454 New Galena Road, Chalfont, PA 18914. The submitted application proposes construction of one (1) single family dwelling. Enclosed is the proposed Subdivision Plan for the project. The Township Office will schedule the meetings at which the plan will be reviewed.

This correspondence has been prepared at the request of New Britain Township and is serving as notification to all property owners adjacent to the proposed project.

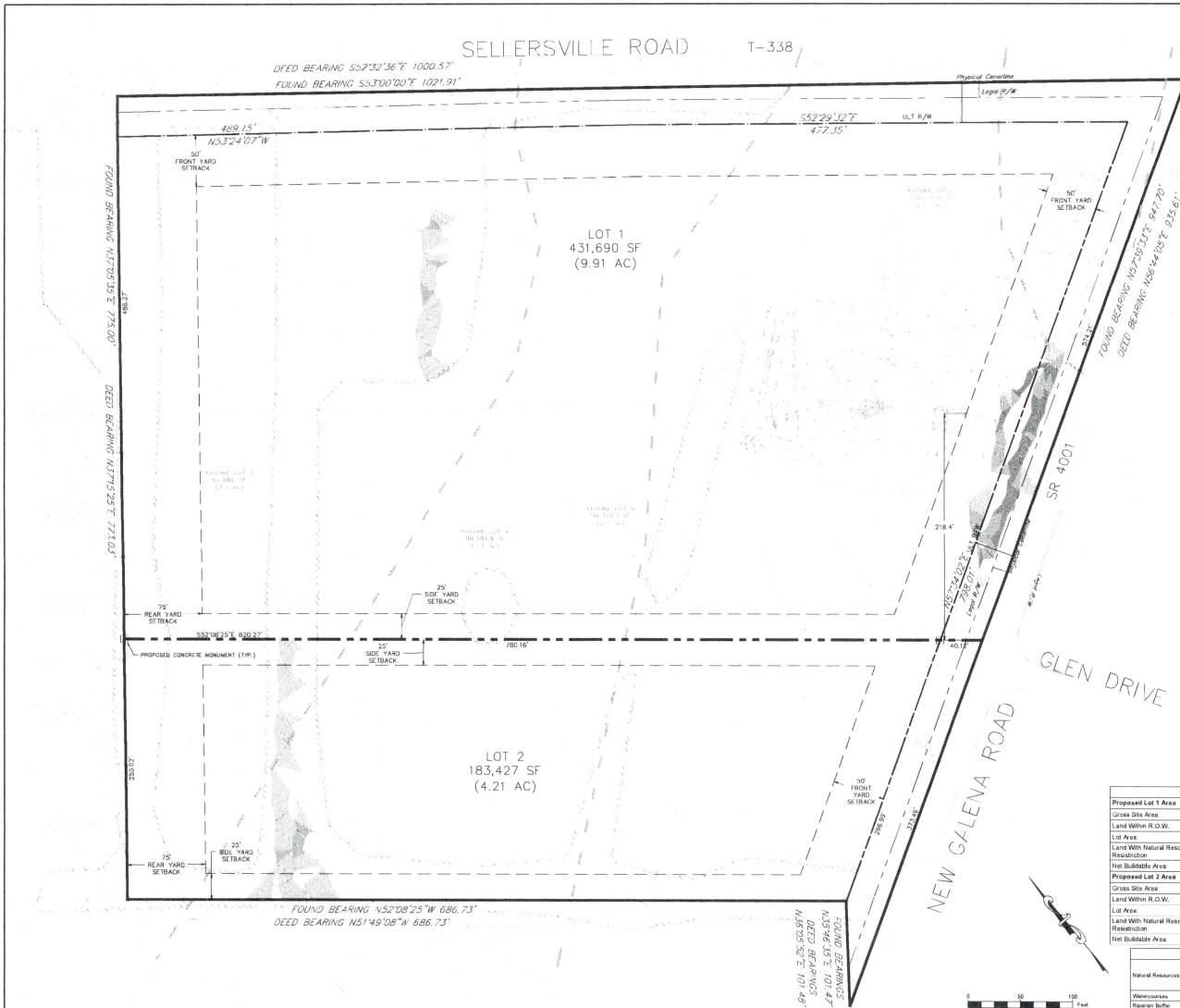
Very truly yours,  
**Holmes Cunningham Engineering**

A handwritten signature in black ink, appearing to read 'Robert Cunningham', is written over the typed name.

Robert Cunningham, P.E., LEED AP  
Partner

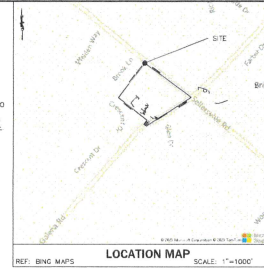
cc: New Britain Township

O:\2183 - 454 New Galena Road\Outbound\New Britain Twp Notification Letter 2026-03-17.docx



TOWNSHIP ENGINEER ACKNOWLEDGEMENT  
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

PLANNING COMMISSION ACKNOWLEDGEMENT  
 BUCKS COUNTY PLANNING COMMISSION NOTATION BCPC NO. \_\_\_\_\_ PROCESSED AND APPROVED BEFORE PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE: \_\_\_\_\_



OWNER SIGNATURE, BLOCK & ACKNOWLEDGEMENT  
 TO ALL WHOM THESE PRESENTS MAY COME, KNOW YE THAT I, \_\_\_\_\_ HAS LAID OUT UPON OUR LAND SITUATED IN THE TOWNSHIP OF NEW BRITAIN, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS ACCORDING TO THIS PLAN WHICH IS INTENDED TO BE FURTHER RECORDED. WITNESS MY HAND AND SEAL THIS DAY OF \_\_\_\_\_ 20\_\_\_\_

BY: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ OF \_\_\_\_\_ AND THAT HE, AS SUCH, IS KNOWN AND BELIEVED TO BE THE PERSON AUTHORIZED TO DO SO, EXECUTED THE WITHIN INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.  
 IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

SFAL: \_\_\_\_\_ NOTARY PUBLIC

ENGINEER'S CERTIFICATION  
 ROBERT CUNNINGHAM, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ROBERT CUNNINGHAM, P.E. DATE: \_\_\_\_\_  
 PA PE078424

CERTIFICATION OF ACCURACY  
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

BRIAN K. PATTERSON, PLS. DATE: \_\_\_\_\_  
 RECORDER OF DEEDS ACKNOWLEDGEMENT  
 RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF BUCKS, AT DOVERSTOWN, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_ 20\_\_\_\_ PAGE \_\_\_\_\_

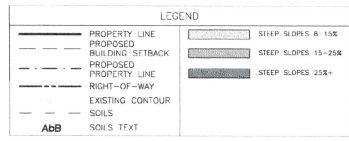
BOARD OF SUPERVISORS ACKNOWLEDGEMENT  
 THIS PLAN APPROVED BY THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

OWNER CERTIFICATION FOR STORMWATER BMP'S  
 THE STORMWATER BMP'S ARE FEATURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY NEW BRITAIN TOWNSHIP.

LOT AREA CALCULATIONS		
Proposed Lot Area	SF	Acres
Case Site Area	483,824	11.24
Land Within R.O.W.	56,134	1.33
Lot Area	431,690	9.91
Land With Natural Resource Reservation	72,745	1.67
Net Buildable Area	358,945	8.24
Proposed Lot 2 Area	SF	Acres
Case Site Area	183,428	4.23
Land Within R.O.W.	12,011	0.28
Lot Area	183,427	4.21
Land With Natural Resource Reservation	40,075	0.92
Net Buildable Area	143,352	3.29

RESOURCE PROTECTION CALCULATIONS						
Natural Resource	Protection Rate	Area of Land (Ac.)	Required Protection Land (Ac.)	Proposed Protection Land (Ac.)	Acres of Land (Ac.)	Required Protection Land (Ac.)
Natural Resources	100%	0.00	N/A	0.00	0.00	N/A
Wetlands	100%	0.00	N/A	0.00	0.00	N/A
Wetlands Marginal (25 FT or less)	80%	0.00	N/A	0.00	0.00	N/A
Wetlands Marginal (25 FT or more)	80%	1.82	1.54	1.82	1.54	1.55
Steep Slopes 8-15%	80%	0.09	0.05	0.09	0.11	0.08
Steep Slopes 15-25%	75%	0.05	0.03	0.05	0.01	0.01
Steep Slopes 25+%	85%	0.05	0.04	0.05	0.00	N/A
Total Land with Resource Reservations			2.11		1.19	
Total Land with 1.0% Protection Ratio			0.00		0.00	
Total Resource Protection Land Required			1.87		0.92	
Total Resource Protection Land Provided			2.11		1.19	

- NOTES
- BING BUCKS COUNTY TAX MAP PANCEL NUMBER 28-001-073 CONTAINS 15.734 ACRES OF LAND MORE OR LESS.
  - SUBJECT PROPERTY IS WITHIN 2-1/2 SUBDIVISION RESIDENTIAL DISTRICT. REFERRING IS MADE TO PENNSYLVANIA ONE CALL SYSTEM. A PA ONE CALL SHALL BE COMPLETED BEFORE CONSTRUCTION IN ACCORDANCE WITH PA ACI 287 OR 1874 AS AMENDED BY PA ACI 187 OF 2008. (1-800-251-1775)
  - A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "F" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR BUCKS COUNTY MAP NO. 4201702086, EFFECTIVE DATE 3/21/2017. NO NEW CREEKS ARE PROPOSED AS PART OF THIS PROJECT.
  - DEED BOUNDARY INFORMATION IS TAKEN FROM A PLANSET DATED 11/21/71 LAST REVISED 6/13/72 SURVEY INFORMATION IS TAKEN FROM A SURVEY TITLED "45-841 SURVEY" BY DONALD M. LITZBERGER AND A PARTIAL FIELD SURVEY PERFORMED BY BRIAN K. PATTERSON, PLS. ON DECEMBER 15, 2023.



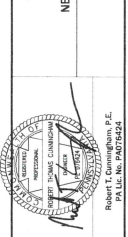
ACI 187 AS AMENDED  
 UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER PA ACI 187 TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.  
 IF OBTAIN ADDITIONAL UTILITY INFORMATION OR IS AWARING FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE CONSTRUCTION, CALL THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITIES IN THE AREA.  
 CALL 800-251-1775 FOR PENNSYLVANIA ONE CALL INFORMATION.  
 (2) WORKING DAYS NOT FOR CONSTRUCTION PERIOD AND NOT FOR CONSTRUCTION PERIOD.  
 (3) 3:00 P.M. TO 5:00 P.M. 3:00 P.M. TO 5:00 P.M.  
 Pennsylvania One Call System, Inc. 1-800-242-1776

OWNER/APPLICANT:  
 MICHAEL, BLAKE & LILLEN CALVERT  
 454 NEW GALENA ROAD  
 CHALFONT, PA 18914

Holmes Cunningham LLC  
 409 E Butler Ave., Unit 50  
 P.O. Box 16901  
 Doylestown, PA 18901  
 (215) 896-3830  
 www.hcengineering.net

REVISIONS	Description	Date

454 NEW GALENA ROAD  
 PARCEL 28-001-073  
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA  
 SUBDIVISION PLAN



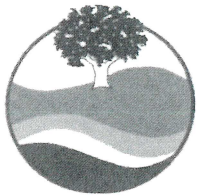
File No.  
 2183\_C1.0 Subdivision.dwg

DATE: 02/08/25  
 SCALE: 1"=50'  
 DRAWN BY: RC  
 SHEET 1 OF 6

Drawing No.  
**C1.0**

PROPERTY OWNERS ADJACENT TO 454 NEW GALENA ROAD

Parcel Number	Address	Owner 1	Mailing Address	City, State, Zip
26-024-066	2 Brook Lane	Ryan E & Chaslin L Gallagher	2 Brook Lane	Chalfont, PA 18914
26-024-067	4 Brook Lane	Andres P & Sara Saverese	4 Brook Lane	Chalfont, PA 18914
26-024-068	6 Brook Lane	Matthew F & Geraldine Sykes	6 Brook Lane	Chalfont, PA 18914
26-024-069	8 Brook Lane	Scott B & Lauri L Komita	8 Brook Lane	Chalfont, PA 18914
26-024-070	10 Brook Lane	Peter Militello, Jr.	10 Brook Lane	Chalfont, PA 18914
26-024-071	12 Brook Lane	Raymond P & Phyllis W Scheck	12 Brook Lane	Chalfont, PA 18914
26-024-072	14 Brook Lane	Jas J. Jr & Patricia M Seaver	14 Brook Lane	Chalfont, PA 18914
26-001-095-009	Sellersville Road	Benjamin G & Stephanie Goldthorp	PO Box 35	Chalfont, PA 18914
26-001-095-007	163 Sellersville Road	Gregg A Pascoe	163 Sellersville Road	Chalfont, PA 18914
26-001-095-003	157 Sellersville Road	David Joshua & Heather Rae Wear	157 Sellersville Road	Chalfont, PA 18914
26-001-095-006	149 Sellersville Road	Frederick C & Ruth E Adams	149 Sellersville Road	Chalfont, PA 18914
26-001-095-004	464 New Galena Road	Giovanni & Ann E Panno	464 New Galena Road	Chalfont, PA 18914
26-001-119	453 New Galena Road	Matthew J & Amy W Hrinyak	453 New Galena Road	Chalfont, PA 18914
26-021-150	122 Glen Drive	Mark P & Theresa R Hatzis	122 Glen Drive	Chalfont, PA 18914
26-021-151	123 Glen Drive	Daniel M & Lisa M Heine	123 Glen Drive	Chalfont, PA 18914
26-001-117-002	417 New Galena Road	Patrick Loudenback	417 New Galena Road	Chalfont, PA 18914



Effective May 1, 2021

# BUCKS COUNTY CONSERVATION DISTRICT

1456 FERRY ROAD, SUITE 704  
DOYLESTOWN, PA 18901-5550  
P (215)345-7577

Over 60 Years In Pursuit of Environmental Excellence

RECEIVED  
MAR 18 2026  
BCCD

## APPLICATION FOR CHAPTER 102 and/or NPDES INFORMATION FORM

This form must be completed and submitted along with the required plans and fees for first time E&S submissions and resubmissions. Please see page 2 for instructions regarding the number of copies required for various submissions.

### Application Type:

Plan Date OR Most Recent Revision Date: 2/5/2026  NEW PLAN  RESUBMISSION  CORRECTIVE ACTION PLAN  
 ADMINISTRATIVE INCOMPLETE (\$250.00 FEE)  NPDES MINOR AMENDMENT (\$250.00 FEE)  
 NPDES MAJOR AMENDMENT (\$500.00 or \$1,500.00 FEE)  NPDES RENEWAL WITH CHANGES (\$500.00 or \$1500.00 FEE)  
 NPDES RENEWAL WITHOUT CHANGES (\$500.00 or \$1500.00 FEE)

Project Municipality New Britain Township Project Name 454 New Galena Road

Tax Parcel Number 26-001-073 Project Address 454 New Galena Road Chalfont, PA 18914

TOTAL ACREAGE 15.42 ACRES TO BE DISTURBED 0.97 #Lots 1 #Units 1

Watershed Neshaminy Creek Receiving Stream West Branch Neshaminy Creek Basin Stream Classification WWF

### APPLICANT INFORMATION

Applicant Name: Mark Calvitti

Applicant Company: \_\_\_\_\_

Address: 454 New Galena Road

City/State/Zip: Chalfont, PA 18914

Phone: 215-779-6784 Ext: \_\_\_\_\_

Email: mark@calvitticompany.com

### PLAN PREPARER

Designer Name: Robert Cunningham, P.E.

Company: Holmes Cunningham Engineering

Address: 409 E. Butler Ave., Unit 5

City/State/Zip: Doylestown, PA 18901

Phone: 215-586-3330 Ext: \_\_\_\_\_

Email: rob@hcengineering.net

Submitted By:  Engineering Firm/Plan Designer  Contractor  Landowner  Municipality

E&S Fee Exemptions and Exceptions:  County Agencies  Volunteer Fire Stations/ Ambulance Services  Co-op Farmer, # \_\_\_\_\_

Municipalities/ Public Schools (1/2 fee)  Other: \_\_\_\_\_

### \*\* FEE SCHEDULE FOR E&S COMPLIANCE (BASED ON DISTURBED ACRES ONLY) \*\*

INCLUDED WITH SUBMISSION ARE:  PLANS/NARRATIVES  FEE(S)  NPDES/E&S PERMIT APPLICATION

SINGLE FAMILY HOME (1 RESIDENCE) WITH UNDER 1 ACRE OF DISTURBANCE = \$250.00

### ALL OTHER EARTH DISTURBANCE:

0.02296 to 0.99 acres = \$680.00

1.0 to 1.99 acres = \$1,420.00

2.0 to 4.99 acres = \$2,100.00

5.0 to 9.99 acres = \$3,150.00

10.0 to 19.99 acres = \$5,250.00

20+ acres = \$6,300.00 +

Additional \$105.00 per acre for each acre over 20

Fractions of an acre are rounded up to the next whole acre.)

### TIMBER HARVEST

0.0-24.99 ACRES = \$250.00; ≥25.0 ACRES = E&S PERMIT

### E&S PERMIT

≥25.0 ACRES = \$680 (PLUS FEES ASSOCIATED WITH NPDES INDIVIDUAL PERMIT, SEE PAGE 2, "NPDES INFORMATION")

### SMALL POND WORK E&S FEE = \$250.00 (MAY REQUIRE NPDES PERMIT, SEE PAGE 2 "NPDES INFORMATION")

\*\*FOR PROJECTS WITH EARTH DISTURBANCE OF ONE (1) ACRE OR MORE IT IS REQUIRED THAT AN NPDES APPLICATION (NOI) BE SENT WITH THE E&S SUBMISSION.

\*\*PLEASE READ PAGE 2 OF THIS APPLICATION UNDER "EXEMPTIONS AND EXCEPTIONS"

PLEASE SUBMIT FOLDED PLANS TO THE DISTRICT. ROLLED PLANS WILL NOT BE ACCEPTED.

BCCD USE ONLY BEYOND THIS POINT

ENTRY # \_\_\_\_\_

DATE SENT BACK \_\_\_\_\_

E&S FEE REC'D \$ \_\_\_\_\_ CHECK# \_\_\_\_\_

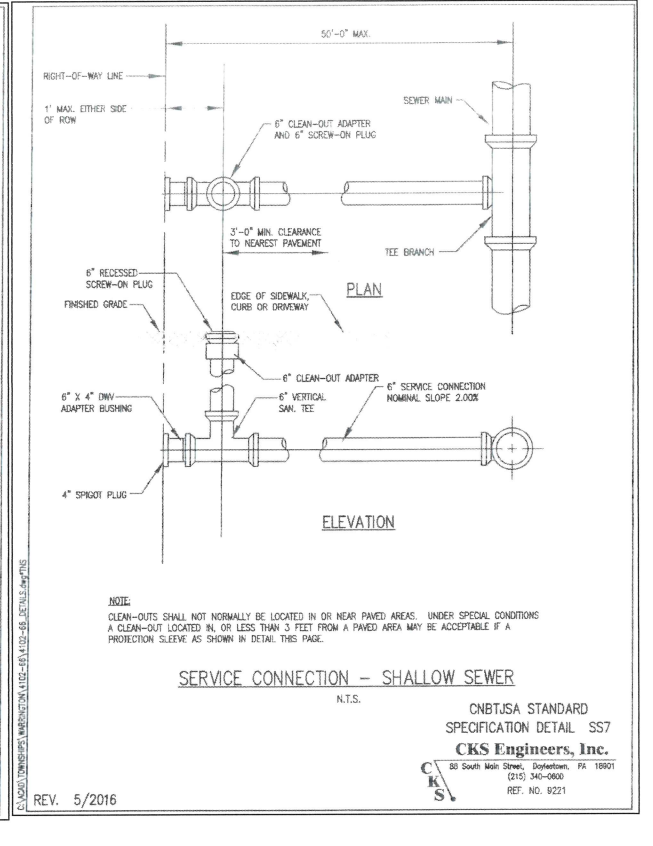
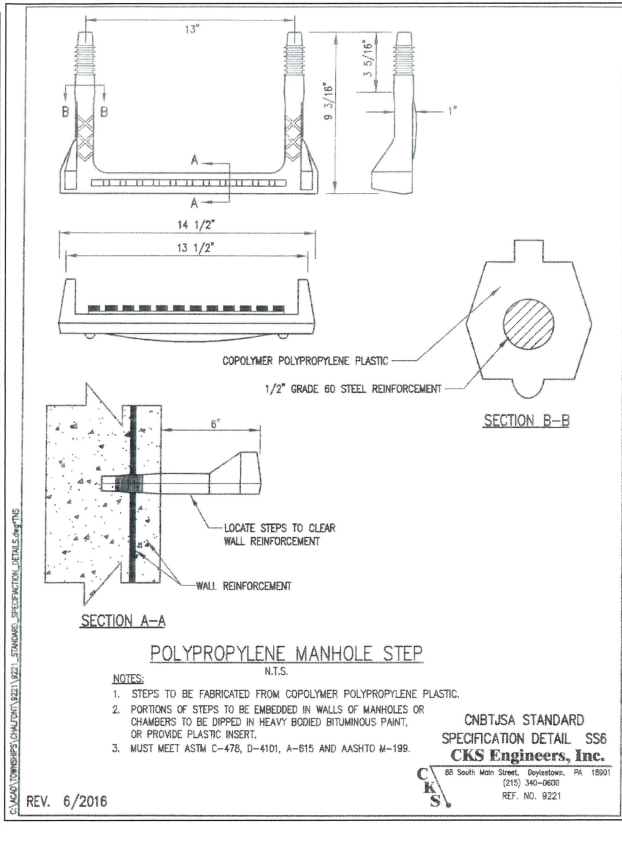
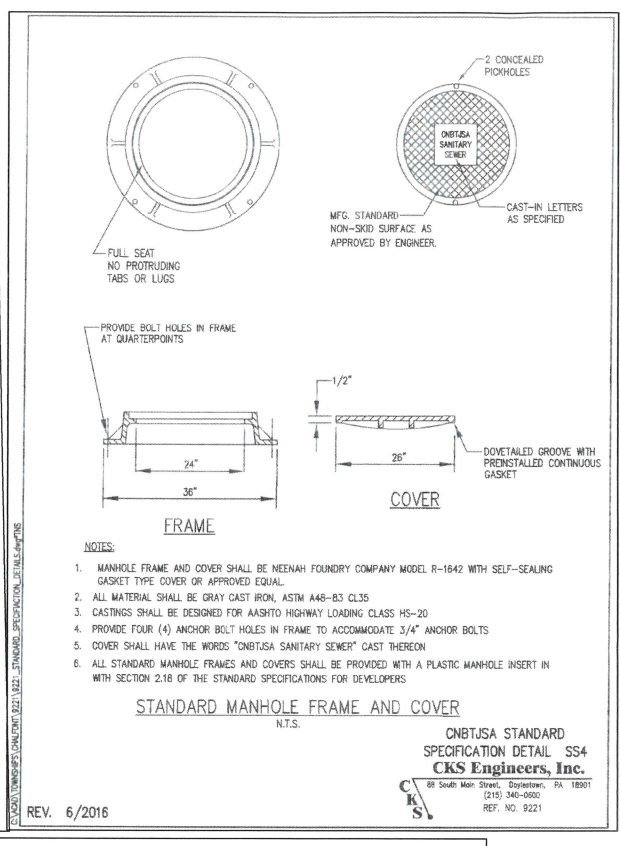
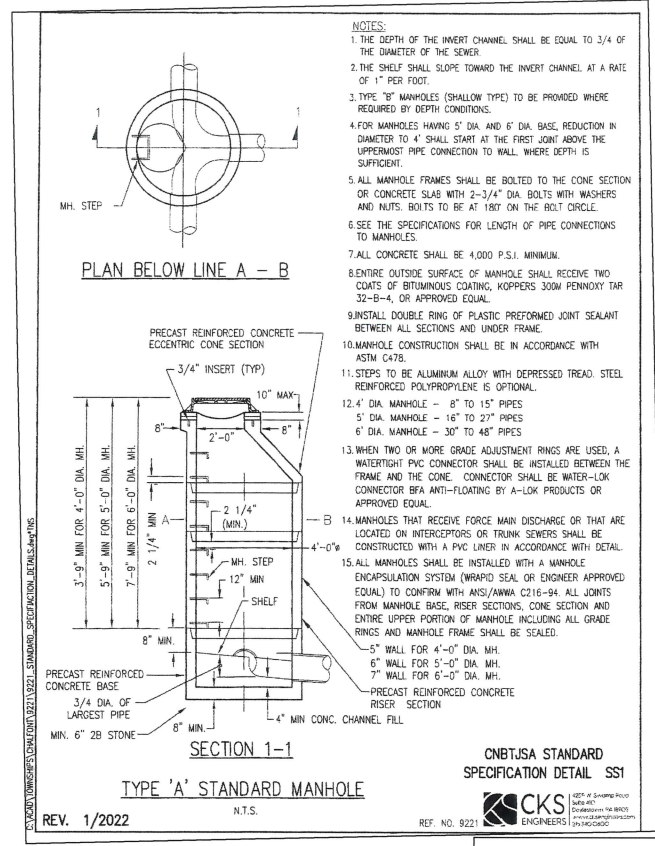
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PERMITTED FEES \_\_\_\_\_ CHECK# \_\_\_\_\_

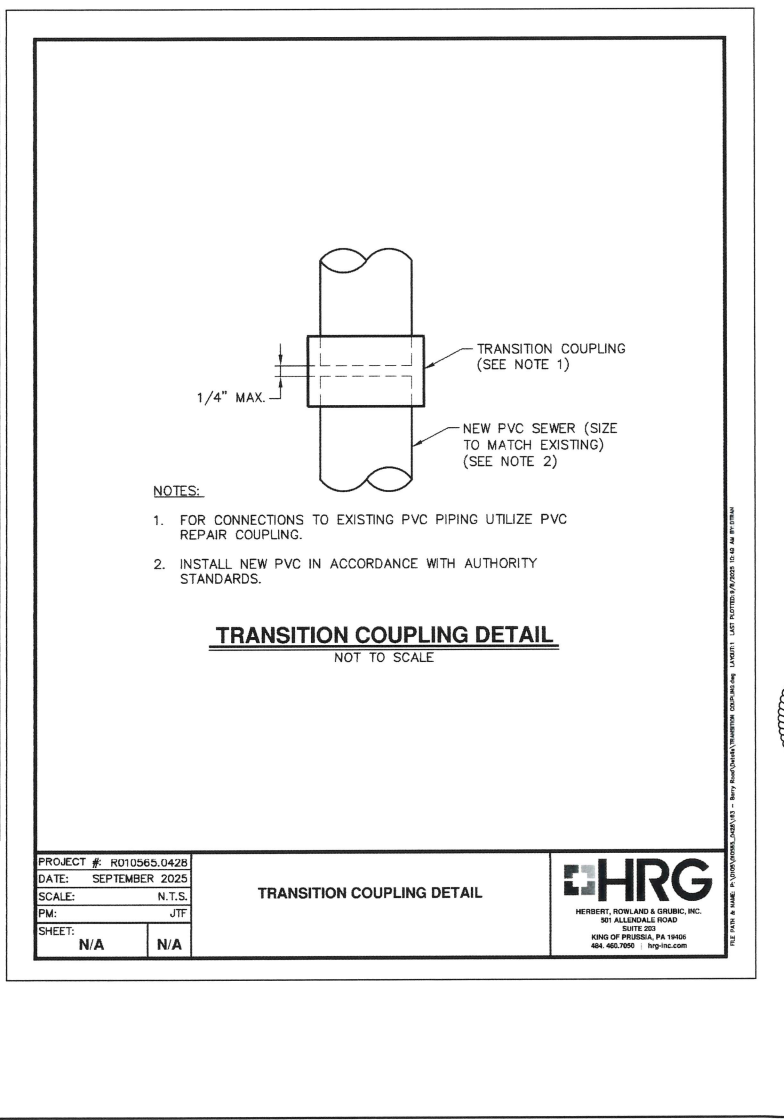
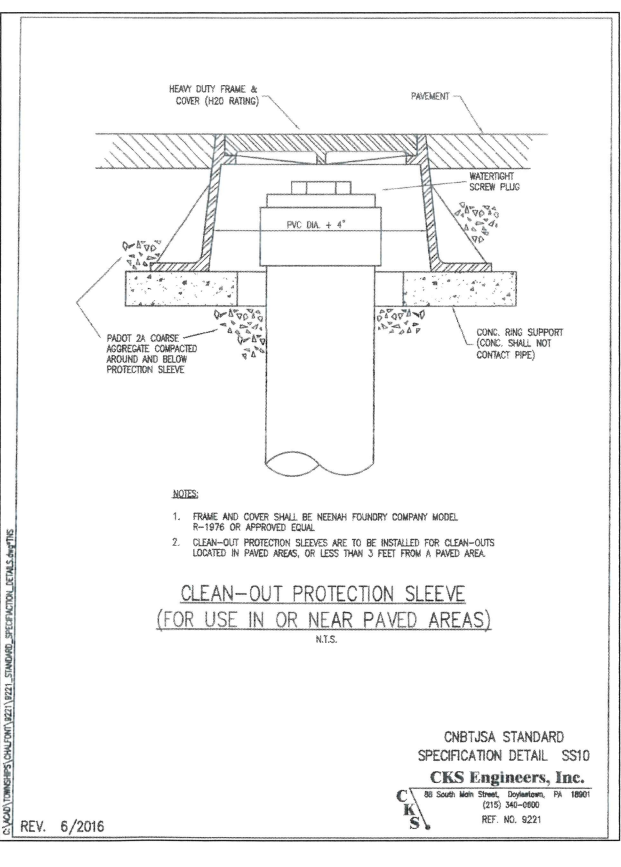
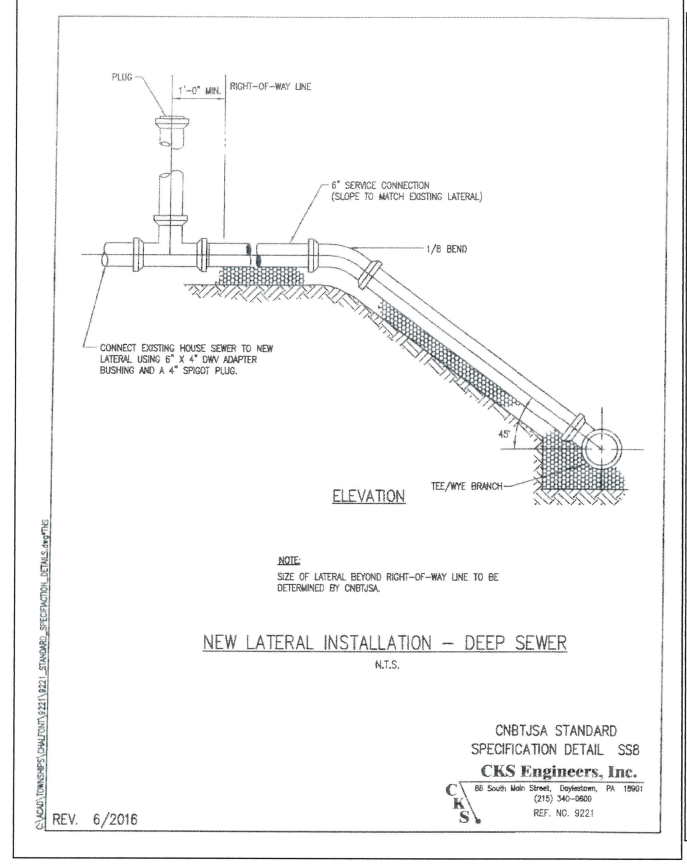
CAP/ADMIN/MA FEE \$ \_\_\_\_\_ CHECK# \_\_\_\_\_

NPDES FEE \$ \_\_\_\_\_ CHECK# \_\_\_\_\_

NPDES # ASSIGNED \_\_\_\_\_



- UTILITY NOTES**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
  2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
  3. ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE OWNER, AT NO COST TO THE TOWNSHIP.
  4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING UTILITY SERVICE (WATER, SEWER, GAS AND ELECTRIC) TO THE PROPERTY AND ENSURE THAT THEY ARE PROPERLY DISCONNECTED FROM THE EXISTING UTILITIES AND RECONNECTED TO THE NEW SERVICES PROVIDED.
  5. THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
  6. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
  7. ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
  8. ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SHALL BE 2 FT.
  9. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, UTILITY LOCATIONS, CATHODIC PROTECTION AND INVERTS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DISRUPTIONS TO EXISTING UTILITIES SERVICES. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
  10. THE SANITARY SEWER MAINS ARE TO BE DEDICATED TO THE CHALFONT NEW BRITAIN SEWER AUTHORITY.
  11. THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER WORK WITH THE CHALFONT NEW BRITAIN SEWER AUTHORITY. THE CHALFONT NEW BRITAIN SEWER AUTHORITY IS TO BE CONTACTED ONE WEEK PRIOR TO SANITARY SEWER CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATING NEAR OR CONNECTING INTO ANY EXISTING SEWER FACILITIES.
  12. ALL SANITARY SEWER FACILITIES SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE CHALFONT NEW BRITAIN SEWER AUTHORITY SPECIFICATIONS.
  13. EIGHTEEN (18) INCHES VERTICAL CLEARANCE SHOULD BE PROVIDED AT ALL UTILITY CROSSINGS.
  14. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
  15. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES.
  16. ALL PROPOSED WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, BITUMINOUS COATED DOUBLE CEMENT MORTAR LINED.
  17. ALL WATER FACILITIES WITHIN THIS DEVELOPMENT, INCLUDING THE WATER MAIN AND WATER SERVICE PIPING UP TO AND INCLUDING INDIVIDUAL CURB STOPS, FIRE HYDRANTS, SHALL BE OFFERED FOR DEDICATION TO THE NORTH PENN WATER AUTHORITY. ALL WATER PIPING AND ASSOCIATED APPURTENANCES DOWNSTREAM OF THESE FACILITIES TO THE INDIVIDUAL BUILDINGS SHALL BE PRIVATELY OWNED.
  18. ALL WATER MAIN FITTINGS AND VALVES SHALL BE MECHANICAL JOINT (RESTRAINED) AND THE FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DRAWING C2.3 FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.
  19. PROPOSED 8" WATER MAIN SHALL BE CONNECTED TO EXISTING WATER MAIN IN NEW GALENA ROAD.
  20. ALL FIRE HYDRANTS AND VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
  21. THE OWNER IS RESPONSIBLE FOR REPLACEMENT OF LANDSCAPING SHOULD DISTURBANCE BE REQUIRED FOR UTILITY REPAIRS.
  22. THE CONTRACTOR MUST CONTACT NPWA ONE WEEK PRIOR TO WATER MAIN CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATION NEAR AND CONNECTION TO EXISTING WATER MAIN.
  23. ALL WATER FACILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH NORTH PENN WATER AUTHORITY STANDARD SPECIFICATIONS.
  24. 18 INCHES OF VERTICAL CLEARANCE OR 10 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN THE SANITARY SEWER AND ALL OTHER UTILITIES. OTHERWISE, CONCRETE ENCASEMENT OF THE SANITARY SEWER SHALL BE PROVIDED.
  25. THERE SHALL NOT BE BUILT, INSTALLED, CONSTRUCTED, PLANTED OR LOCATED ANY TEMPORARY OR PERMANENT BUILDINGS OR STRUCTURES INCLUDING INFILTRATION BASINS, OR ANY TREES, SHRUBS, OR OTHER LANDSCAPING WITHIN 10 FEET OF SANITARY SEWER FACILITIES, EXCEPT TREES, SHRUBS, AND OTHER LANDSCAPING WHICH WILL NOT GROW TO MORE THAN 6 FEET IN HEIGHT.
  26. SINCE THE PROJECT IS LOCATED IN THE MONTGOMERY HIGH PRESSURE ZONE, A PRESSURE REDUCING VALVE SHALL BE INSTALLED ON EACH WATER SERVICE.
  27. A MINIMUM OF 5 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN THE WATER MAIN AND ALL PARALLEL UTILITY LINES.
  28. A MINIMUM CLEARANCE OF 18 INCHES SHALL BE PROVIDED WHERE A WATER MAIN CROSSES ANOTHER UTILITY.
  29. ALL CURB STOPS WITHIN PAVED AREAS MUST BE PROVIDED WITH A VALVE BOX AND COVER FOR PROTECTION.
  30. WATER MAINS MUST BE SURVEY STAKED AT FIFTY (50) FOOT INTERVALS ALONG THE MAIN ALIGNMENT FOR STRAIGHT RUNS AND AT TWENTY-FIVE (25) FOOT INTERVALS ALONG CURVES. SURVEY STAKES MUST BE CLEARLY INSCRIBED WITH THE STATION POINTS, TOP OF FINAL GRADE, AND, WHEN APPLICABLE, FACE OF CURB. WHEN PIPELINE LOCATION IS USED FOR PLACEMENT OF SURVEY STAKES, THE STAKES SHALL BE OFFSET A MINIMUM OF TEN (10) FEET AND A MAXIMUM OF TWENTY (20) FEET FROM THE PIPELINE SO AS NOT TO INTERFERE WITH THE INSTALLATION OF THE PIPE.
  31. ALL WATER SERVICE CONNECTIONS, WATER MAIN CONNECTIONS AND SERVICE DISRUPTIONS REQUIRED FOR CONSTRUCTION OF THE NEW WATER FACILITIES WITHIN THIS DEVELOPMENT MUST BE COORDINATED WITH NORTH PENN WATER AUTHORITY. THE AUTHORITY MAY REQUIRE SOME OR ALL OF THESE CONNECTIONS OR DISRUPTIONS TO OCCUR OUTSIDE OF REGULAR WORKING HOURS. THE SPECIFIC HOURS DURING WHICH THESE CONNECTIONS OR DISRUPTIONS ARE TO BE MADE WILL BE AS DIRECTED BY THE AUTHORITY AND THE WORK SHALL BE COMPLETED AT NO ADDITIONAL COST TO THE AUTHORITY.
  32. A UTILITY AND ACCESS EASEMENT IS PROPOSED ON THE PRIVATE DRIVE FOR INSPECTION AND MAINTENANCE OF THE PROPOSED WATER AND SANITARY SEWER SYSTEMS FOR ACCESS BY THE NORTH PENN WATER AUTHORITY.
  33. VALVE BOXES ARE TO BE INSTALLED FOR CURB STOPS LOCATED IN OR IMMEDIATELY ADJACENT TO PAVED AREAS.
  34. ALL SANITARY SEWER FACILITIES SHALL BE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH CHALFONT NEW BRITAIN TOWNSHIP JOINT SEWER AUTHORITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR SANITARY SEWER FACILITIES (AUTHORITY'S STANDARDS).
  35. THE DEVELOPER/CONTRACTOR SHALL COORDINATE WITH THE NORTH PENN WATER AUTHORITY AND CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE DUTILITY TO DETERMINE WHETHER WATER & SEWER SERVICE CONNECTIONS OR STUBS ARE REQUIRED FOR THE EXISTING DWELLINGS (N/F FASTI & N/F CHRISTIANSEN) ADJACENT TO THE PROPOSED ROAD.



**Holmes Cunningham LLC**  
409 E. Butler Ave. Unit 5  
Doyletown, PA 18001  
(215) 866-3330  
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**HC ENGINEERING**

REVISIONS	Description	Date

CALL BEFORE YOU DIG!!  
PENNSYLVANIA LAW REQUIRES  
CONTRACTOR TO CALL  
TO WORKING STOP A CALL  
TO WORKING STOP A CALL

UTILITY LOCATIONS AS SHOWN ON THESE PLANS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION.

**454 NEW GALENA ROAD**  
PARCEL: 26-001-073  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

**UTILITY NOTES AND DETAILS**

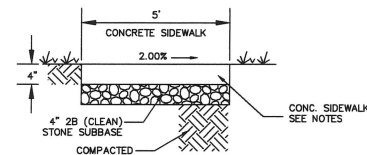
Robert T. Cunningham, P.E.  
PA Lic. No. PA076424

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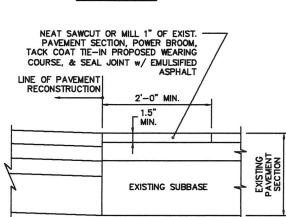
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**C2.1**

**HRG**  
HERBERT, ROWLAND & GRUBIC, INC.  
301 ALLENDALE ROAD  
SUITE 200  
KING OF PRUSSIA, PA 19380  
484.466.7050 | hrg-inc.com



- NOTES:**
- SIDEWALK IS TO BE PROVIDED, PLACED, CURED AND FINISHED TO PENNDOT SPECIFICATIONS PUB. 408 (CURRENT EDITION), SECTIONS 704 AND 1001. TYPE AA CONCRETE (3,500 PSI, TWENTY-EIGHT-DAY STRENGTH) SHALL BE USED.
  - CONTRACTION JOINTS, SPACED AT EQUAL INTERVALS BETWEEN EXPANSION JOINTS, NOT TO EXCEED 5 FEET FOR SIDEWALKS TO BE FORMED BY DIVISION FLATES OR CUTTING GROOVE INTO CONCRETE SURFACE NOT LESS THAN 1/3 ENTIRE DEPTH OF SLAB.
  - DRAINAGE SLOPE TO BE MAINTAINED AT 2% TOWARDS CURB.
  - EXPANSION JOINTS TO BE ONE-HALF-INCH PRECLUDED, BITUMINOUS EXPANSION JOINT MATERIAL AT THIRTY-FOOT INTERVALS; NEXT TO BUILDINGS, POLES, STRUCTURES AND CURBS; AROUND INTERSECTIONS OF TWO WALKS; DRIVEWAY APRON JOINT TO WALL, CURB OR SIDEWALK AND AT ENDS OF ALL WALKS AND CURBS INCLUDING RADIUS CURBS.
  - MINIMUM NO. 9, SIX BY SIX MESH TO BE USED IN CONCRETE DRIVEWAY CONSTRUCTION.
  - CONTRACTION JOINTS ARE TO BE PLACED EVERY 5' AND EXPANSION JOINTS TO ARE TO BE PLACED EVERY 20'.
  - A 4" THICK 2B (CLEAN) STONE BASE IS REQUIRED.
  - CLASS AA CONCRETE IS TO BE USED FOR SIDEWALK CONSTRUCTION.

**SIDEWALK**

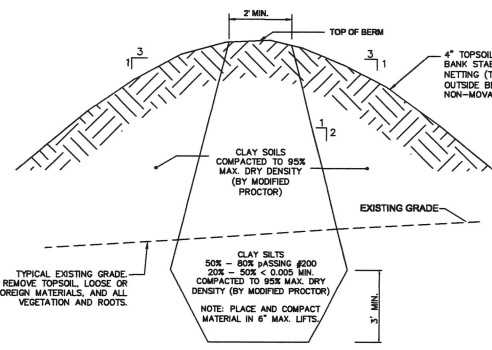


**DRIVEWAY PAVEMENT TIE-IN**

**GRADING AND DRAINAGE NOTES**

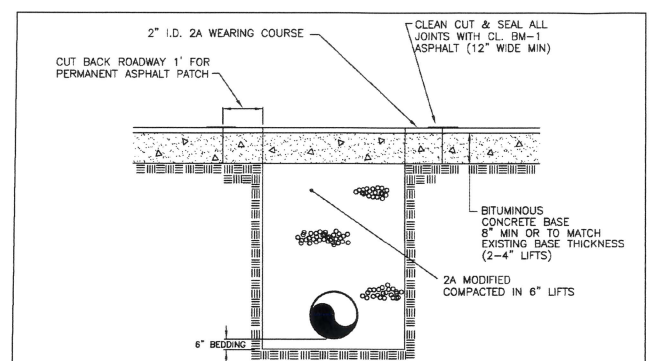
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
- COMPACTION CRITERIA FOR FILL PLACEMENT IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE.
 

FILL AREA	% OF MAX. DENSITY
BUILDING FOOTPRINT	95%
PAVEMENT AND ROADWAYS	95%
SIDEWALKS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
- PROTECTED SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH THE COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE AND TRUE TO GRADE AND CROSS SECTION.
- ALL STRIPPED TOPSOIL SHOULD BE REUSED ON SITE TO THE GREATEST EXTENT POSSIBLE. HOWEVER, PRIOR TO REMOVAL OF TOPSOIL FROM THE SITE PERMISSION SHOULD BE OBTAINED FROM THE MUNICIPALITY.
- THE MAXIMUM SLOPE IS THREE HORIZONTAL TO ONE VERTICAL (3H:1V). THE MINIMUM PERMITTED SLOPE IN LAWN AREAS IS 2% (50H:1V).
- ALL GRADING SHALL BE A MINIMUM OF 5' FROM THE PROPERTY LINE OR WITHIN THE ULTIMATE RIGHT-OF-WAY AS SHOWN/DEDICATED ON THE PENNDOT PLANS.
- ALL PROPOSED DWELLINGS SHALL HAVE ROOF DRAINS TIED INTO THEIR LOT'S RESPECTIVE STORMWATER BMP.



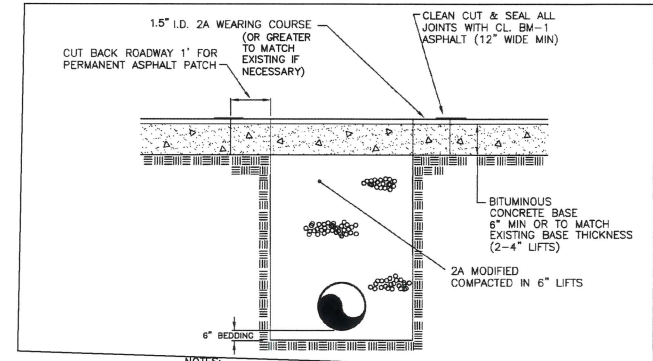
- STANDARD BASIN BERM CONSTRUCTION NOTES**
- SITE PREPARATION - AREAS UNDER THE EMBANKMENT AND ANY STRUCTURES SHALL BE CLEARED, GRUBBED AND THE TOPSOIL STRIPPED TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBSTRUCTIONABLE MATERIAL IN ORDER TO FACILITATE CLEAN-OUT AND RESTORATION. THE POOL AREA WILL BE CLEARED OF ALL BRUSH AND EXCESS TREES.
  - CUT OF TRENCH - A CUT-OFF TRENCH WILL BE EXCAVATED ALONG THE BERM CENTERLINE BENEATH EARTH FILL EMBANKMENTS. THE MINIMUM DEPTH SHALL BE 3 FEET. THE CUT-OFF TRENCH SHALL EXTEND TO THE RISER CREST ELEVATION. THE MINIMUM BOTTOM WIDTH SHALL BE 8 FEET BUT WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS SHALL BE THE SAME AS THOSE FOR EMBANKMENTS. THE TRENCH SHALL BE KEPT FREE OF STANDING WATER DURING THE BACKFILLING OPERATIONS.
  - EMBANKMENT - THE FILL MATERIAL SHALL BE TAKEN FROM SELECTED BORROW AREAS. IT SHALL BE FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS OR OTHER OBSTRUCTIONABLE MATERIAL AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHOULD CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, IT IS TOO WET FOR PROPER COMPACTION. FILL MATERIAL MUST BE PLACED IN 6 TO 8 INCH LAYERS AND SHALL BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION MUST BE OBTAINED BY MECHANICAL SHEEP FOOT ROLLERS. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 5% HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT.

**BASIN BERM AND KEYWAY TRENCH DETAIL**



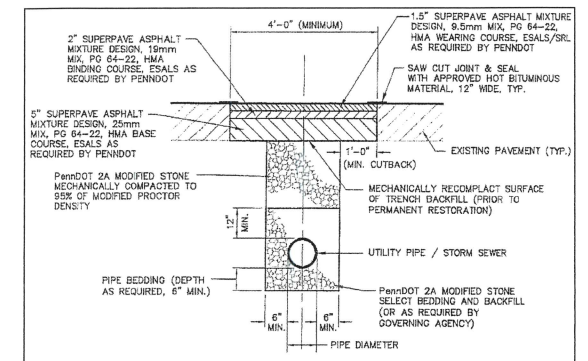
- NOTE:**
- ROADWAYS WILL BE PADDED TO PREVENT DAMAGE FROM BUCKETS OR OUTRIGGERS
  - ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH PENNDOT SPECIFICATIONS, FORM 408, CURRENT EDITION
  - FULL WIDTH OF ROAD SHOULDERS WILL BE COMPACTED WITH 2A MODIFIED WITHIN 3' OF ASPHALT ROAD SURFACE
  - COLD PATCH TEMPORARILY INSTALLED WITH PERMANENT RESTORATION WITHIN 90 DAYS
  - THIS SPEC WILL BE FOLLOWED UNLESS AMENDED BY AGREEMENT WITH TOWNSHIP
  - FINAL RESTORATION NO SOONER THAN 30 DAYS AFTER BACKFILL COMPACTION

**TYPICAL MUNICIPAL ROADWAY RESTORATION**



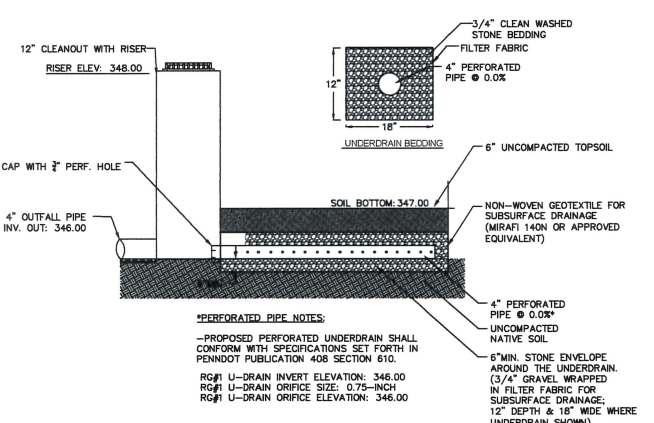
- NOTES:**
- ALL COURSES SHALL CONFORM TO PADOT 408 REQUIREMENTS
  - PAVEMENT SECTION TO BE USED FOR ALL STATE ROAD PAVING.

**PENNDOT ROAD TRENCH RESTORATION**

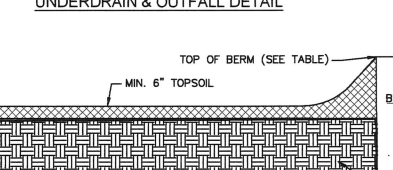


- NOTES:**
- BEFORE 90 DAYS, ROADS SHALL BE TEMPORARILY RESTORED WITH 2A COURSE AGGREGATE AND 2" OF PENNDOT B-2 BINDER COURSE (TO GRADE) AND ALLOWED TO SETTLE 90 DAYS PRIOR TO PERMANENT RESTORATION, AS SHOWN ABOVE. PERMANENT RESTORATION OF TRENCHES SHALL BE COMPLETED ONLY AFTER APPROVAL BY TOWNSHIP ENGINEER.
  - RETAINED SUITABLE MATERIAL MAY BE USED AS BACKFILL FOR TRENCHES IN TOWNSHIP RIGHT-OF-WAY (OUTSIDE OF CARTWAY) WHEN MORE THAN THREE (3) FEET FROM EDGE OF EXISTING CARTWAY, CURB, AND/OR SIDEWALK.
  - MINIMUM WIDTH OF ALL RESTORATION SHALL BE FOUR (4) FEET.
  - COLD PATCH SHALL BE APPLIED ON ALL TRENCH RESTORATIONS (PRIOR TO 90 DAYS) WHEN BINDING OR BASE COURSE ARE NOT AVAILABLE DUE TO WEATHER CONDITIONS.
  - FOR PLASTIC UTILITIES, INSTALL DETECTION TAPE OVER PIPE AT TOP OF STONE BACKFILL.

**UTILITY TRENCH RESTORATION WITHIN PAVED AREAS DETAIL**



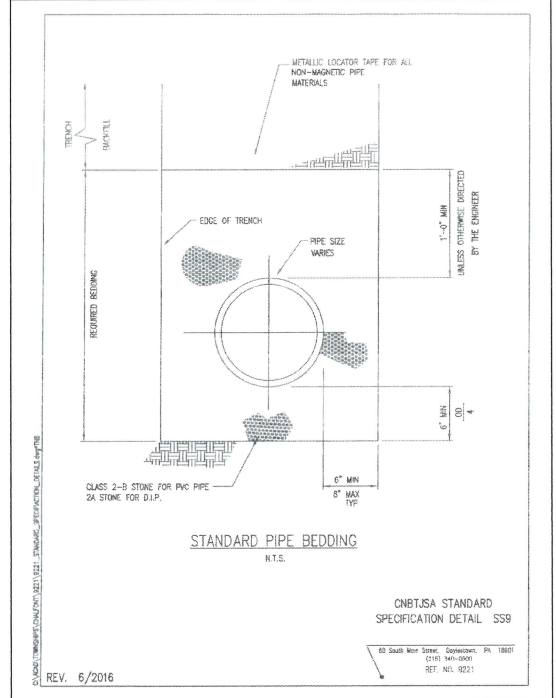
**RAIN GARDEN UNDERDRAIN & OUTFALL DETAIL**



RAIN GARDEN ELEVATIONS		
#	BMP INVERT	TOP OF BERM
Rg-1	347.00	348.85

**RAIN GARDEN SOIL DETAIL**

- RAIN GARDEN FLOOR SEEDING**
- SEED IN ERNST SEED MIX (ERNMX-180); RAIN GARDEN AREA MIX SEEDING RATE IS 20 LBS. PER ACRE WITH 30 LBS. PER ACRE GRAIN RYE (COVER CROP)
- ERNMX-180 RAIN GARDEN AREA MIX
- 26% River Oats, PA/VA Ecotype blend (Chasmanthium latifolium (Uniola latifolia), PA/VA Ecotype blend)
  - 15% Fowl Bluegrass (Poa palustris)
  - 10% Fox Sedge, PA Ecotype (Carex vulpinoidea, PA Ecotype)
  - 6% Purple Coneflower (Echinacea purpurea)
  - 4% Blackeyed Susan, Coastal Plain NC Ecotype (Rudbeckia hirta, Coastal Plain NC Ecotype)
  - 3% Zigzag Aster, PA Ecotype (Aster prenanthoides (Symphyotrichum p.), PA Ecotype)
  - 3% False Indigo, Southern WV Ecotype (Baptisia australis, Southern WV Ecotype)
  - 3% Ohio Spiderwort, PA Ecotype (Tradescantia ohiensis, PA Ecotype)
  - 2% Lanceleaf Coreopsis, Coastal Plain NC Ecotype (Coreopsis lanceolata, Coastal Plain NC Ecotype)
  - 2% Wild Bergamot, PA Ecotype (Monarda fistulosa, PA Ecotype)
  - 2% Wild Senna, VA & WV Ecotype (Senna hebecarpa (Cassia h.), VA & WV Ecotype)
  - 2% Autumn Bergamot, PA Ecotype (Ageratum perennans, PA Ecotype)
  - 2% Marsh (Dense) Blazing Star (Spiked Gayfeather), PA Ecotype (Liatris spicata, PA Ecotype)
  - 1% Early Goldenrod, PA Ecotype (Solidago juncea, PA Ecotype)
  - 1% Oxeeye Sunflower, PA Ecotype (Helopsis helianthoides, PA Ecotype)
  - 1% Swamp Milkweed, PA Ecotype (Asclepias incarnata, PA Ecotype)
- RAIN GARDEN LANDSCAPE MAINTENANCE**
- THIS RAIN GARDEN IS DESIGNED TO BECOME NATURALIZED OVER TIME AND WILL REQUIRE LESS MAINTENANCE AS TIME GOES ON.
- MOWING** - ESTABLISH AND MAINTAIN A NO-MOW ZONE THAT ENCOMPASSES THE FLOOR AND SIDE SLOPES. MOW THE NO-MOW ZONE 1X/YEAR TO A MINIMUM HEIGHT OF 6". (ANNUALLY IN LATE APRIL/EARLY MAY). RAKE MOWN MATERIAL AND COMPOST OR DISPOSE OF OFF SITE.
- INSPECTIONS** - INSPECT RAIN GARDEN AND NO-MOW ZONES FOR INVASIVE SPECIES SUCH AS PURPLE LOOSESTRIFE, PHRAGMITES, HONEYSUCKLE, ETC. (ANNUALLY IN JULY). IF INVASIVE SPECIES ARE FOUND REMOVE PER RECOMMENDED STANDARDS FOR SPECIFIC SPECIES FOLLOWING GUIDELINES BY PA DCNR (DEPT OF CONSERVATION & NATURAL RESOURCES).
- CLEANING** - REMOVE TRASH AND DEBRIS (JANUARY & APRIL)



**STANDARD PIPE BEDDING**

- NOTES:**
- BEFORE 90 DAYS, ROADS SHALL BE TEMPORARILY RESTORED WITH 2A COURSE AGGREGATE AND 2" OF PENNDOT B-2 BINDER COURSE (TO GRADE) AND ALLOWED TO SETTLE 90 DAYS PRIOR TO PERMANENT RESTORATION, AS SHOWN ABOVE. PERMANENT RESTORATION OF TRENCHES SHALL BE COMPLETED ONLY AFTER APPROVAL BY TOWNSHIP ENGINEER.
  - RETAINED SUITABLE MATERIAL MAY BE USED AS BACKFILL FOR TRENCHES IN TOWNSHIP RIGHT-OF-WAY (OUTSIDE OF CARTWAY) WHEN MORE THAN THREE (3) FEET FROM EDGE OF EXISTING CARTWAY, CURB, AND/OR SIDEWALK.
  - MINIMUM WIDTH OF ALL RESTORATION SHALL BE FOUR (4) FEET.
  - COLD PATCH SHALL BE APPLIED ON ALL TRENCH RESTORATIONS (PRIOR TO 90 DAYS) WHEN BINDING OR BASE COURSE ARE NOT AVAILABLE DUE TO WEATHER CONDITIONS.
  - FOR PLASTIC UTILITIES, INSTALL DETECTION TAPE OVER PIPE AT TOP OF STONE BACKFILL.

Holmes Cunningham LLC  
409 E. Butler Ave. Unit 5  
Doylesstown, PA 18901  
(215) 866-3330  
www.hcengineering.net

REVISIONS	Description	Date

CALL BEFORE YOU DIG!!  
PENNSYLVANIA LAW REQUIRES  
UTILITY LOCATIONS TO BE SHOWN ON  
CONSTRUCTION PLANS AND  
TO WORKING STOP IN THE  
PROPOSED STOP LOCATIONS

Professional Seal  
Call System, Inc.  
1-800-925-1776

UTILITY LOCATIONS AS SHOWN ON  
CONSTRUCTION PLANS ARE THE RESPONSIBILITY OF THE  
CONTRACTOR. ANY ADJACENT UTILITIES  
TO ANY EXCAVATION.

**454 NEW GALENA ROAD**  
PARCEL: 26-001-073  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

**GRADING, DRAINAGE AND PCSM  
NOTES AND DETAILS**

Professional Seal  
Robert T. Cunningham, P.E.  
PA Lic. No. PA076424

HCE Job No.	Date	Scale	Designed	RC	Sheet
2183	02/05/26	N.T.S.			4 of 6

File No. 2183\_C2.0 GR-DA-UT.dwg

Drawing No. **C2.2**

**SEQUENCE OF CONSTRUCTION**

- SITE DEVELOPMENT OPERATIONS SHOULD BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING GENERAL SEQUENCE OF OPERATIONS. THE CONTRACTOR MAY DEViate FROM THE STAGING OF PERMANENT SITE IMPROVEMENT CONSTRUCTION ITEMS, WITH APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR. DEVIATION FROM THE RELATIVE ORDER OF EROSION AND SEDIMENT CONTROL MEASURES SHOULD NOT OCCUR WITHOUT APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR AND SITE ENGINEER. NO VERTICAL CONSTRUCTION MAY OCCUR UNTIL SUBGRADE IS SET.
- CONTACT THE BUCKS COUNTY CONSERVATION DISTRICT (215-345-7577), NEW BRITAIN TOWNSHIP, AND THE TOWNSHIP ENGINEER AT LEAST THREE (3) WORKING DAYS PRIOR TO SITE DISTURBANCE.
- EACH STAGE OF THE SEQUENCE OF CONSTRUCTION MUST BE COMPLETED PRIOR TO INITIATION OF THE NEXT STAGE OF THE SEQUENCE OF CONSTRUCTION. CONSTRUCTION MAY OVERLAP INTO A SUBSEQUENT PHASE AS LONG AS ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED IN THE PREVIOUS PHASE.
- DELINEATE THE LIMIT OF DISTURBANCE. INSTALL CONSTRUCTION ENTRANCE AT SITE ACCESS, STOCKPILE, COMPOST FILTER SOCK AND TREE PROTECTION FENCE WHERE SHOWN ON THE PLAN. INSTALL PROTECTION FENCE AROUND FUTURE SOMS.
- STRIP TOPSOIL AND STOCKPILE WHERE SHOWN ON PLAN. ALL STRIPPED TOPSOIL STOCKPILES SHALL HAVE TEMPORARY SEEDING INSTALLED. DEMOLITION EXISTING STRUCTURE AND OTHER SITE FEATURES (PAVING, CONCRETE, SEPTIC SYSTEM, ROUGH GRADE SITE, DRIVEWAY/PARKING AND BUILDING PADS. INSTALL TEMPORARY EROSION CONTROL. BLANKETS. ANY AREAS WHICH WILL BE INACTIVE FOR 72 HOURS OR MORE SHALL BE TEMPORARILY STABILIZED AS NOTED ON THESE PLANS.
- BEGIN CONSTRUCTION OF BUILDING FOUNDATION. BUILDING CONSTRUCTION MAY COINCIDE WITH ADDITIONAL SITE WORK, INCLUDING UTILITY WORK INCLUDING SEPTIC SYSTEM AND LATERAL CONNECTION, WALL AND DRIVEWAY CONSTRUCTION, THAT IS LISTED IN THIS SEQUENCE OF CONSTRUCTION. PRIOR TO VERTICAL CONSTRUCTION, SUBGRADE IS TO BE SET, INCLUDING BUT NOT LIMITED TO FOUNDATION WORK, STABLE SUBGRADE/SUBBASE, SUBSURFACE UTILITY WORK, AND DRIVEWAY/PARKING SUBGRADE.
- INSTALLATION OF STORMWATER FACILITY (RG-1) IS A CRITICAL STAGE OF THE CONSTRUCTION SEQUENCE. CRITICAL STAGES SHALL BE MONITORED BY A LICENSED PROFESSIONAL OR THEIR DESIGNEE. THE UNDERGROUND BASINS AND LEVEL SPREADERS SHALL BE PROTECTED FROM DISTURBANCE ONCE THEY ARE CONSTRUCTED.
- INSTALL ON-LOT POTABLE WATER WELLS, SANITARY SEWER SYSTEM STARTING AT THE DOWNSTREAM ENDS AND WORKING UPSTREAM. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF EACH DAY.
- COMPLETE FINAL GRADING AFTER FINAL GRADING IS COMPLETED, APPLY PERMANENT SEEDING MIXTURE AND INSTALL ALL REQUIRED PLANTINGS, FENCING, AND LIGHTING. LIGHTING SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF ANY USE AND OCCUPANCY PERMITS. ONCE ALL BUILDINGS ARE COMPLETED, FLUSH ALL AFFECTED STORM DRAINAGE PIPES OF ACCUMULATED SILT. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING FINAL SEEDING AND MULCHING OPERATIONS. REFER TO PCSM DRAWINGS FOR SPECIFIC DETAILS.
- AFTER CONSTRUCTION IS COMPLETED, INSTALL WEARING COURSE FOR THE DRIVEWAY. REPAIR ANY DAMAGED SANITARY SEWER STRUCTURES AND/OR ANY OTHER AMENITIES FROM INSTALLATION OF WEARING COURSE.
- UPON COMPLETE STABILIZATION OF SITE, REMOVE EROSION CONTROL BMPs FROM WITHIN THE STORMWATER FACILITY AND REMOVE FINES FROM STORMWATER FACILITY. UPON COMPLETION AND STABILIZATION INSTALL THE STORMWATER FACILITIES AND TILL SURFACE WITH COMPOST PER THE RAINGARDEN SEQUENCE OF CONSTRUCTION ON THE PCSM PLAN. THIS ACTIVITY IS REQUIRED TO BE INSPECTED BY THE LICENSED PROFESSIONAL. THE CONTRACTOR SHALL COORDINATE INSPECTIONS WITH THE INSPECTING LICENSED PROFESSIONAL.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH STORM EVENT OR ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY. THE SITE SHALL BE CONSIDERED STABILIZED WHEN THE PERMANENT VEGETATION HAS PROVIDED A 70% GROUND COVER. THE CRITERIA FOR THE REMOVAL OF CONTROLS IS A UNIFORM 70% VEGETATIVE COVER CAPABLE OF RESISTING EROSION, NOT 7 OUT OF 10 ACRES OR 7 OUT OF 10 UNITS.
- FIELD VERIFICATION OF THE DRAINAGE AREAS TO PROPOSED PCSM SCMS IS A CRITICAL STAGE OF THE CONSTRUCTION SEQUENCE. THIS ACTIVITY IS REQUIRED TO BE PERFORMED BY THE LICENSED PROFESSIONAL.
- UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITY AND COMPLETED INSTALLATION OF BMP FACILITIES IN ACCORDANCE WITH THE APPROVED PLAN, EAS BMPs INCLUDING COMPOST FILTER SOCK, CONSTRUCTION ENTRANCE, INLET PROTECTION, AND WASHOUTS SHALL BE REMOVED.

Soils Table					
Symbol	Unit Name	HSG	Hydric	Depth to Water	Depth to Bedrock
AbA	Abbottstown Silt Loam, 0 to 3 Percent Slopes	D	N	6-18 inches	46-50 inches
AbB	Abbottstown silt loam, 3 to 8 percent slopes	D	N	6-18 inches	40-60 inches
RIB	Reaville channery silt loam, 3 to 8 percent slopes	D	N	6-36 inches	20-40 inches
UmB	Urban land-Doylestown complex, 0 to 8 percent slopes	B/D	Y	0-6 inches	42-72 inches

**SESC LEGEND**

- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- COMPOST FILTER SOCK
- x-x- ORANGE CONSTRUCTION FENCE
- [ROCK] ROCK CONSTRUCTION ENTRANCE
- [MAT] EROSION CONTROL MATTING
- SOIL TYPE BOUNDARY
- 36.5 SOIL TYPE
- [Globe] FILTER BAG INLET PROTECTION
- 390 PROPOSED CONTOUR
- TPF TREE PROTECTION FENCE
- [Circle] CONCRETE WASHOUT

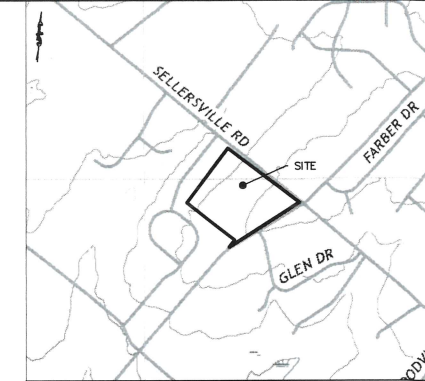
**LEGEND**

- PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING CONTOUR
- SOILS
- AbB SOILS TEXT
- 185 PROPOSED CONTOUR
- 185.2 x PROPOSED SPOT ELEVATION
- [Square] PROPOSED CONCRETE MONUMENT
- S PROPOSED SANITARY SEWER MAIN
- s-s PROPOSED SANITARY SEWER LATERAL
- w- PROPOSED WATER LATERAL
- [Well] PROPOSED WELL
- [Shaded] STEEP SLOPES 8-15%
- [Shaded] STEEP SLOPES 15-25%
- [Shaded] STEEP SLOPES 25%+
- [Shaded] PROPOSED BUILDING
- [Shaded] PROPOSED CONCRETE

**NOTES:**

- BEING BUCKS COUNTY TAX MAP PARCEL NUMBER 26-001-073, CONTAINING 15.7314 ACRES OF LAND MORE OR LESS.
- SUBJECT PROPERTY IS WITHIN SR-2 - SUBURBAN RESIDENTIAL DISTRICT.
- REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM. A PA ONE CALL SHALL BE COMPLETED BEFORE CONSTRUCTION, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008 (1-800-242-1776).
- A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR BUCKS COUNTY MAP NO. 42017C0286K, EFFECTIVE DATE 3/21/2017.
- NO NEW STREETS ARE PROPOSED AS PART OF THIS PROJECT.
- DEED BOUNDARY INFORMATION IS TAKEN FROM A PLANSET TITLED "OVERALL SITE PLAN" PREPARED BY MARK G. HINTENLANG, P.E. DATED 11/21/11 LAST REVISED 6/12/12. SURVEY INFORMATION IS TAKEN FROM A SURVEY TITLED "AS-BUILT SURVEY" BY DENNIS M. LITZENBERGER, AND A PARTIAL FIELD SURVEY PERFORMED BY BRIAN K. PATTERSON, PLS ON DECEMBER 15, 2023.
- THE STORMWATER FACILITY IS DESIGNED TO ROUTE 16,504 SF OF FUTURE IMPERVIOUS COVER FOR A TOTAL OF 21,700 SF OF IMPERVIOUS COVER.

**OWNER/APPLICANT:**  
RICHARD BLAKE & EILEEN CALVITTI  
454 NEW GALENA ROAD  
CHALFONT, PA 18814



**LOCATION MAP**  
REF: USGS, DOYLESTOWN QUADRANGE SCALE: 1"=1000'

**LIMIT OF DISTURBANCE = 0.93 ACRES**

**CRITICAL STAGES OF PCSM PLAN IMPLEMENTATION**  
THE INSTALLATION OF THE RAINGARDEN SHALL BE OVERSEEN BY A LICENSED PROFESSIONAL ENGINEER OR THEIR DESIGNEE.

**CONSTRUCTION SEQUENCE FOR PCSM SCMS**  
REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN DRAWING C2.2 FOR CONSTRUCTION SEQUENCE.

**ACT 187 AS AMENDED**

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER PA ACT 187 TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.  
TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITY LINES IN THE AREA.  
CALL BEFORE YOU DIG!!  
PENNSYLVANIA LAW REQUIRES (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING DAYS IN DESIGN STAGE - STOP & CALL -  
Pennsylvania One Call System, Inc.  
1-800-242-1776

**RECYCLING/ DISPOSAL OF MATERIALS**  
THE CONSTRUCTION WASTES ANTICIPATED INCLUDE DEMOLITION MATERIALS FROM THE BUILDING AND SITE DEMOLITION AND EXCESS BUILDING MATERIAL SUCH AS CONCRETE, WOOD, ETC.  
ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 2601 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

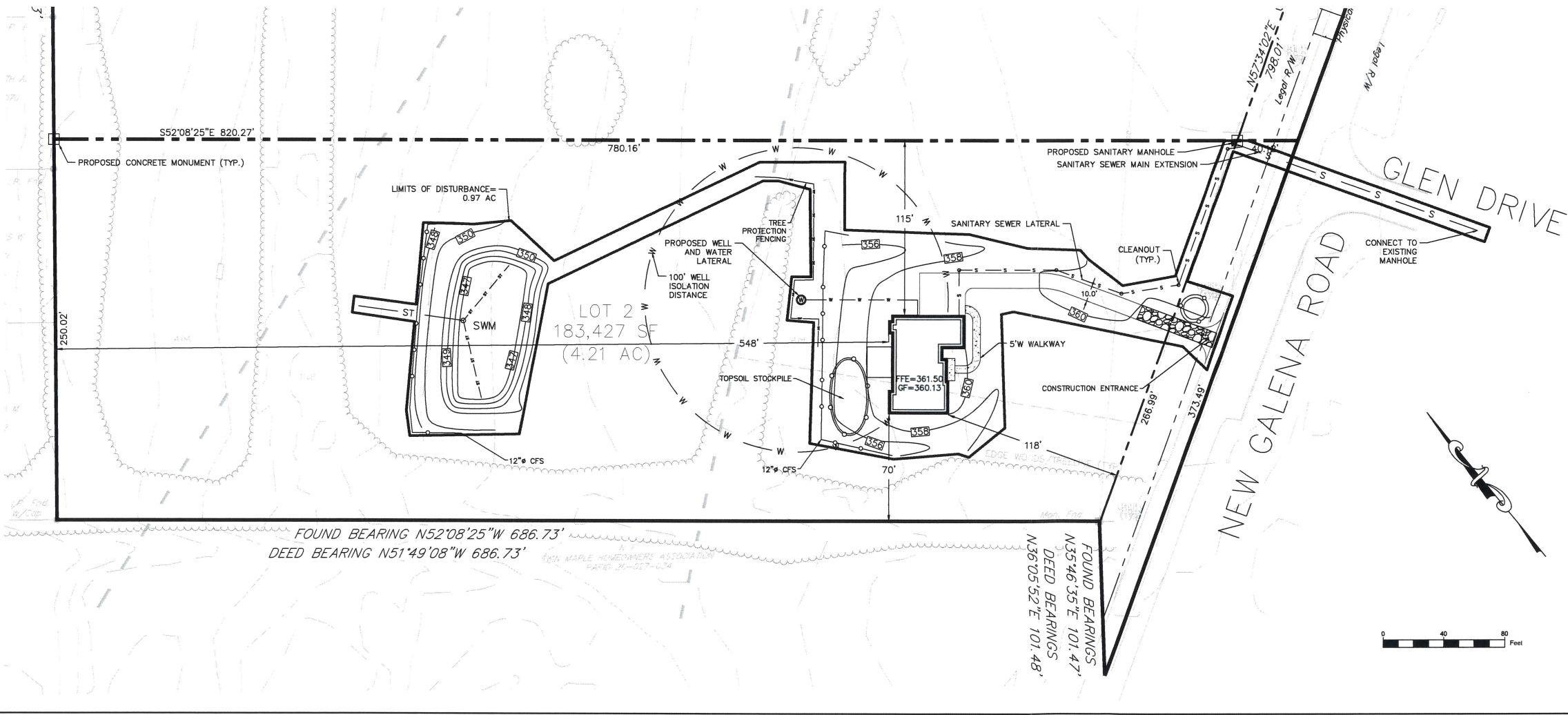
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409 E. Butler Ave., Unit 5  
Doylestown, PA 18901  
(215) 586-3330  
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REVISIONS	Description	Date

**454 NEW GALENA ROAD**  
PARCEL: 26-001-073  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA  
**EROSION AND SEDIMENTATION CONTROL PLAN**

Robert T. Cunningham, P.E.  
PA Lic. No. PA076824

File No.	2183_C3.0 E+S.dwg
HCE Job	2183
Date	02/05/26
Scale	1"=40'
Designed	RC
Sheet	5 of 6
Drawing No.	<b>C3.0</b>



CLEAN FILL NOTE:

IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL REST WITH THE OPERATOR.

CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE OR CONSTRUCTION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED.

ENVIRONMENTAL DUE DILIGENCE, INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE RESEARCH, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT QUALIFIES AS CLEAN FILL.

EROSION / SEDIMENT CONTROL PLAN STANDARD NOTES

STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2L:1V. THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE O/RP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPILL AND BLOWN AREAS REGARDLESS OF THEIR LOCATIONS.

ALL PUMPED WASHOUT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.

DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% (PERCENT) VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UPON THE INSTALLATION OF TEMPORARY SEDIMENT BASIN RISER(S), A QUALIFIED SITE REPRESENTATIVE SHALL CONDUCT AN IMMEDIATE INSPECTION OF THE RISER(S), WHEREUPON THE BUCKS COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS SEALED (WATER-TIGHT).

AT STREAM CROSSINGS, A 50-FOOT BUFFER SHALL BE MAINTAINED. ON BUFFERS, CLEARINGS, SOIL DISTURBANCES AND EXCAVATIONS, EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING, CLEARING BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

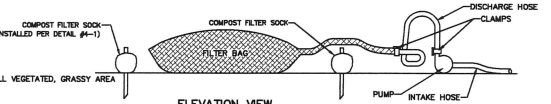
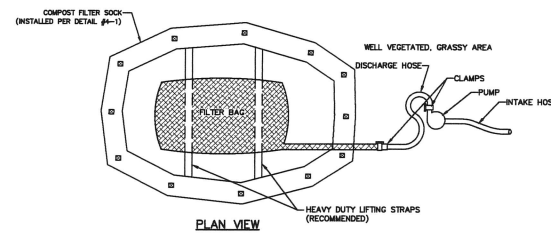


Table with 4 columns: PROPERTY, TEST METHOD, MINIMUM STANDARD, and GRADE. It lists various properties like GRAB TENSILE, PUNCTURE, MILLER BURST, UV RESISTANCE, and ADS % RETAINED, along with their respective test methods and minimum standards.

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL. UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE INTO STABLE, EROSION RESISTANT AREAS WHERE THIS IS NOT POSSIBLE, A SLOTTED UNCLAMPED AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 1:1. PUMP INTAKES SHALL BE PLACING AND OTHER HIGH-CORROSION AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNFLOW SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST BERM WITH DOWNFLOW SEDIMENT BARRIER IS REQUIRED FOR WATERSHEDS, WITH 90 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE MUST BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLAGGING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG WITH COMPOST FILTER SOCK

SEEDING NOTES:

TEMPORARY SEEDING:

- 1. TEMPORARY SEEDING SHALL BE DONE IN AREAS WHERE NO ACTIVITY WORK WILL BE PERFORMED. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE SEEDING AND MULCHED IMMEDIATELY.
2. DURING NON-GERMINATING PERIODS, ONLY MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. AREAS MULCHED DURING THE NON-GERMINATING PERIODS, MUST BE LIMED, FERTILIZED, SEEDING, AND MULCHED IMMEDIATELY FOLLOWING THE END OF THE NON-GERMINATING PERIODS.
3. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE (1) YEAR MAY BE SEEDING AND MULCHED WITH A QUICK GROWING TEMPORARY SEED MIXTURE.
4. DISTURBED AREAS WHICH ARE AT EITHER FINISHED GRADE OR WILL NOT BE DISTURBED AGAIN WITHIN ONE (1) YEAR MUST BE SEEDING WITH A PERMANENT SEED MIXTURE AND MULCHED.
5. TEMPORARY SEEDING STEPS:
A. APPLY AGRICULTURAL LIMESTONE AT A RATE OF ONE (1) TON PER ACRE. (5 POUNDS PER 1000 SQUARE FEET)
B. APPLY FERTILIZER AT THE RATE OF 50-50-50 PER ACRE.
C. WORK THE LIMESTONE AND FERTILIZER INTO THE SOIL.
D. UTILIZING THE FOLLOWING SEEDING TYPES, RATES AND TIME SCHEDULE:

Table with 4 columns: SEASON, RATE, TYPE, and TYPE. It lists seeding rates for different seasons and types of grasses like ANNUAL RYEGRASS, SUDAN GRASS, and WINTER RYE.

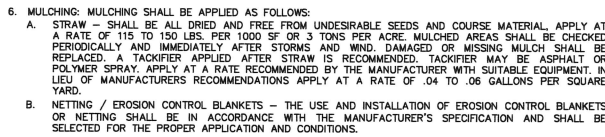
PERMANENT SEEDING:

- 1. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE DISTURBED AGAIN WITHIN ONE (1) YEAR MUST BE SEEDING WITH A PERMANENT SEED MIXTURE AND MULCHED.
2. SEEDING SHALL BE DONE DURING PERIODS FROM APRIL 15TH TO OCTOBER 31ST, UNLESS OTHERWISE DIRECTED. IF SEEDING IS DONE AFTER OCTOBER 1ST, DORMANT SEED MUST BE USED AND DISTURBED AREAS MUST BE MULCHED.
3. DISTURBED FINAL GRADED AREAS AND DRAINAGE SWALES WILL BE PERMANENTLY SEED AS FOLLOWS:
A. MINIMUM OF 4" OF TOPSOIL SHALL BE SPREAD OVER ALL AREAS TO BE SEEDING. TOPSOIL SHALL BE FREE OF STONES, STICKS, WASTE MATERIAL AND SIMILAR DEBRIS. FROZEN GROUND SHALL NOT BE SPREAD AS TOPSOIL AND TOPSOIL SHALL NOT BE SPREAD OVER FROZEN GROUND.
B. A SOIL ANALYSIS IS RECOMMENDED, HOWEVER, IN LIEU OF AN ANALYSIS APPLY AGRICULTURAL LIMESTONE AND FERTILIZER AT RATES RECOMMENDED BELOW (OR AS SUGGESTED BY THE SOIL TEST RESULTS (ONE (1) TEST PER 25 ACRES)).
C. THE LIMESTONE AND FERTILIZER SHALL BE WORKED INTO THE SOIL TO DEPTHS OF 3 TO 4 INCHES. D. GRASS SHALL NOT BE PLANTED AFTER HEAVY RAIN OR WATERING.
E. ALL SEED USED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT AT THE TIME OF PURCHASE. INERT MATTER SHALL NOT EXCEED 15% AND BLUE TAG CERTIFIED SEED SHALL BE SUPPLIED WHEREVER POSSIBLE.
F. SMOOTH AND FIRM SEED BED WITH CULTIPACKER OR SIMILAR EQUIPMENT PRIOR TO SEEDING. APPLY SEED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRO SEEDING. COVER SEEDS WITH 1/2" OF SOIL WITH SUITABLE EQUIPMENT.
G. APPLY HAY OR STRAW MULCH (IN ACCORDANCE WITH SECTION NO. 4) AT A RATE OF THREE (3) TONS PER ACRE.

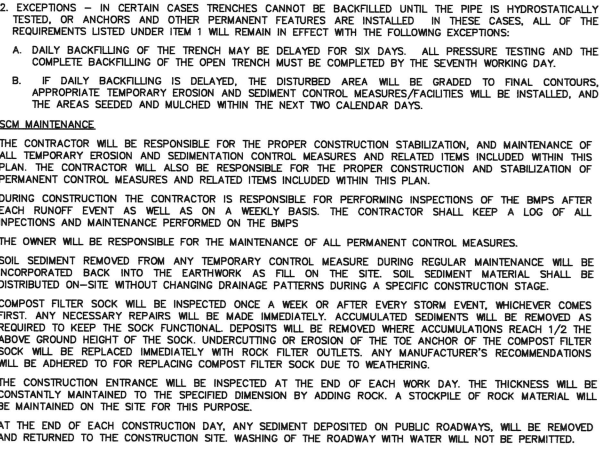
Table with 4 columns: SEASON, RATE, TYPE, and TYPE. It lists permanent seeding rates for normal mowed lawn areas and permanent seeding for special areas like swales, pond embankments, levees, diversion channels, etc.

NOTE: SEEDING PERIODS AND SPECIFICATIONS MAY VARY DUE TO SITE CONDITIONS AND VARIANCES FROM THE TIME THIS REPORT IS WRITTEN AND APPROVED. IT MAY BE NECESSARY TO ADAPT SEED SPECIFICATION, VARIETIES, AND QUALITIES. FOR SPECIAL CONDITIONS CONSULT "GUIDELINE FOR RECLAMATION OF SEVERELY DISTURBED AREAS," PENNSYLVANIA STATE UNIVERSITY.

- 4. FERTILIZER - A SOIL ANALYSIS IS RECOMMENDED, BUT IN LIEU OF AN ANALYSIS APPLY AGRICULTURAL LIMESTONE AT A RATE OF FOUR (4) TONS/ACRE AND 10-20-20 FERTILIZED AT A RATE OF 50 LBS. PER 1000 SF. THESE MATERIALS WILL BE UNIFORMLY APPLIED AND WORKED INTO THE TOPSOIL TO A DEPTH OF 3 TO 4 INCHES. IMMEDIATELY BEFORE SEEDING, A 1 0-1 0-10 FERTILIZER WILL BE WORKED INTO THE TOPSOIL TO A DEPTH OF 100 SF.
5. HYDRO SEEDING: LIME AND SEED SHALL BE AS SPECIFIED ABOVE, AND FERTILIZER SHALL BE APPLIED AT A RATE OF 40-80. CROWN VETCH SHALL BE INOCULATED AT FOUR TIMES THE MANUFACTURER'S RATE. SHOULD FERTILIZER BE APPLIED WITH THE INOCULANT, THE MIXTURE SHALL NOT REMAIN IN A SLURRY FOR MORE THAN ONE HOUR. WOOD CELLULOSE FIBER, APPLIED AT A RATE OF 35 LBS. PER 1000 SF, MAY BE APPLIED AS PART OF THE SLURRY IN LIEU OF MULCHING. SYNTHETIC MULCH BLENDS, SUCH AS CURACOL, DCA-70, TERRE-TACK OR AN APPROVED EQUIVALENT SHALL BE USED PER THE MANUFACTURER'S INSTRUCTIONS TO ANCHOR THE MULCH.
6. MULCHING: MULCHING SHALL BE APPLIED AS FOLLOWS:
A. STRAW - SHALL BE ALL DRIED AND FREE FROM UNDESIRABLE SEEDS AND COARSE MATERIAL. APPLY AT A RATE OF 115 TO 150 LBS. PER 1000 SF OR 3 TONS PER ACRE. MULCHED AREAS SHALL BE CHECKED PERIODICALLY AND IMMEDIATELY AFTER STORMS AND WIND. DAMAGED OR MISSING MULCH SHALL BE REPLACED. A TACKIFIER APPLIED AFTER MULCHING IS RECOMMENDED. TACKIFIER MAY BE ASPHALT, OR POLYMER SPRAY. APPLY AT A RATE RECOMMENDED BY THE MANUFACTURER WITH SUITABLE EQUIPMENT. IN LIEU OF MANUFACTURER'S RECOMMENDATIONS APPLY AT A RATE OF .04 TO .06 GALLONS PER SQUARE YARD.
B. NETTING / EROSION CONTROL BLANKETS - THE USE AND INSTALLATION OF EROSION CONTROL BLANKETS OR NETTING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND SHALL BE SELECTED FOR THE PROPER APPLICATION AND CONDITIONS.



- 1. CONSTRUCTION REQUIREMENTS -
A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
B. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
C. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
D. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING AS REQUIRED, TO A FACILITY FOR REMOVAL OF SEDIMENTS IN ACCORDANCE WITH PADEP GUIDELINES.
E. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.
2. EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS OR OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
A. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
B. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDING AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.



LIMITING EXPOSED, EXTENT AND DURATION OF DISTURBED AREAS: THE INITIAL PHASE OF THE PROPOSED PROJECT CONSISTS OF ESTABLISHING THE SOIL EROSION CONTROL MEASURES IN A SEQUENCE APPROPRIATE TOWARD LIMITING SOIL EROSION. THE EXTENT OF DISTURBED LAND HAS BEEN LIMITED TO INCLUDE ONLY THOSE AREAS REQUIRED FOR THE DEVELOPMENT OF THE SUBJECT SITE. ALL SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. THE SEQUENCE OF CONSTRUCTION ACTIVITIES IS OUTLINED IN THE SEQUENCE OF CONSTRUCTION CONTAINED HEREIN AND ON THE DRAWINGS.

PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION: THE PROJECT PROPOSES TO MINIMIZE DISTURBANCE TO THE EXISTING VEGETATION AT THE SITE BY ONLY PROPOSING DISTURBANCE IN THE AREA WHERE NEEDED. THE SITE VEGETATION PROPOSED FOR DISTURBANCE IS MAINLY SCRUB VEGETATION AND VINES WHICH ARE CURRENTLY DETRIMENTAL TO THE LARGE TREES ON THE SOUTHERN PROPERTY LINE.

MINIMIZE SOIL COMPACTION: THE PROJECT DESIGN LIMITS THE BULK / MASS EARTHWORK TO BE PERFORMED AS MUCH AS POSSIBLE. ADDITIONALLY, SOIL COMPACTION WILL NOT BE REQUIRED OTHER THAN IN PROPOSED IMPERVIOUS AREAS.

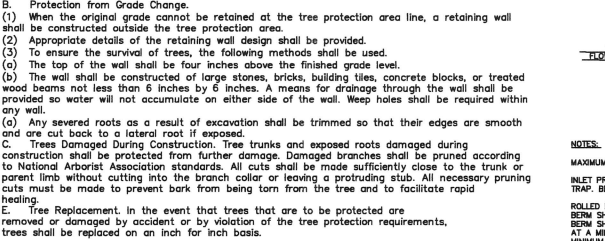
FEATURES AND MEASURES TO MINIMIZE STORMWATER RUNOFF: TEMPORARY STABILIZATION: UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. THE DISTURBED AREAS WILL ALSO BE MULCHED WITH UNROTATED STRAW OR SALT HAY. TEMPORARY STABILIZATION MEASURES ARE SPECIFIED ON SOIL EROSION AND SEDIMENT POLLUTION CONTROL DETAIL PLANS.

PERMANENT STABILIZATION: ALL SLOPES AND DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING AND LANDSCAPING AS SOON AS POSSIBLE AFTER THE FINAL EARTHMOVING AND CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. AREAS THAT ARE PROPOSED TO HAVE SPECIFIC UNING SHALL BE STABILIZED WITH THE SPECIFIED LINING AS SOON AS THE EARTHMOVING AND CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. TEMPORARY SOIL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL A UNIFORM EROSION RESISTANT PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED. PERMANENT STABILIZATION MEASURES ARE SPECIFIED ON THE EROSION AND SEDIMENT POLLUTION CONTROL DETAIL PLANS.

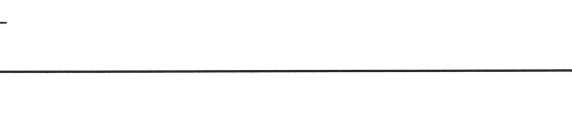
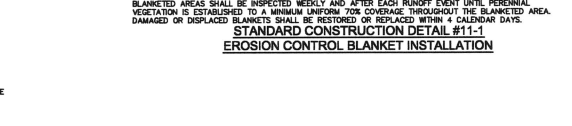
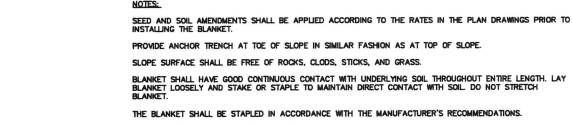
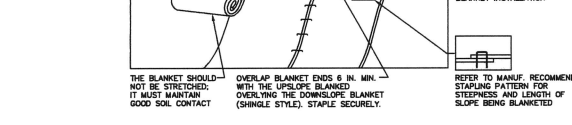
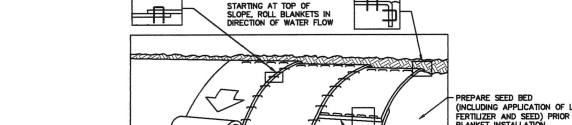
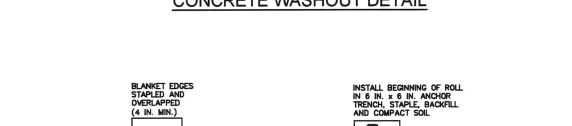
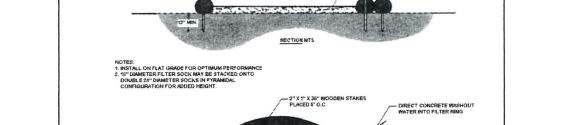
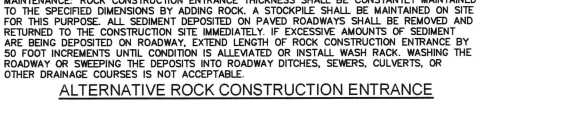
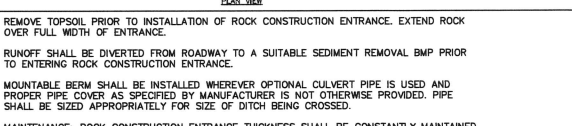
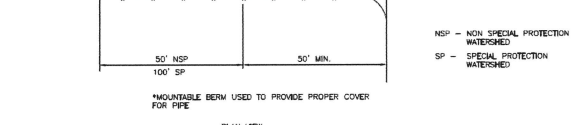
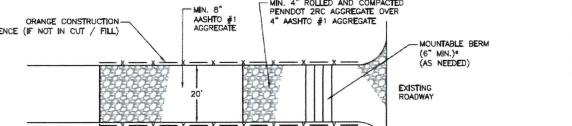
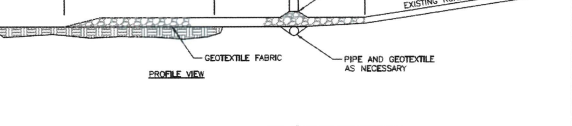
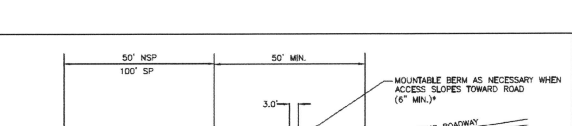
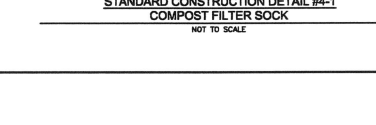
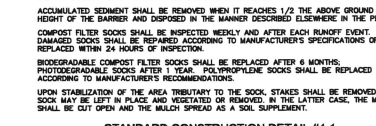
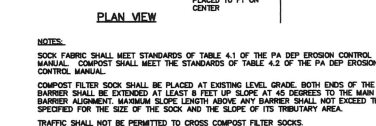
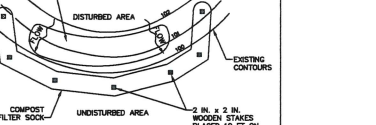
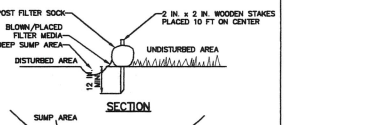
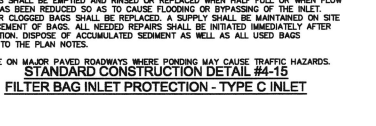
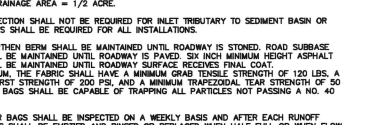
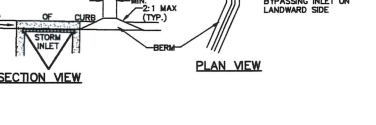
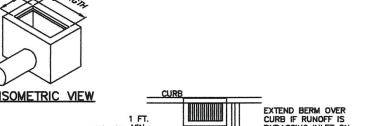
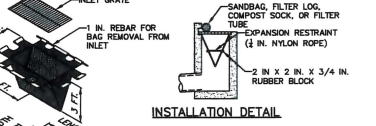
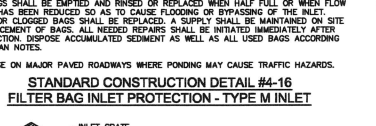
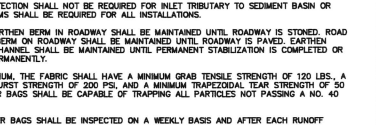
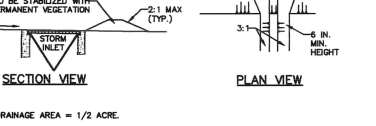
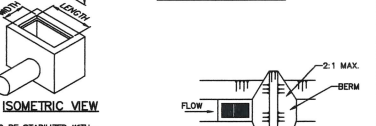
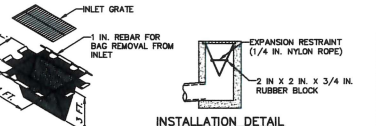
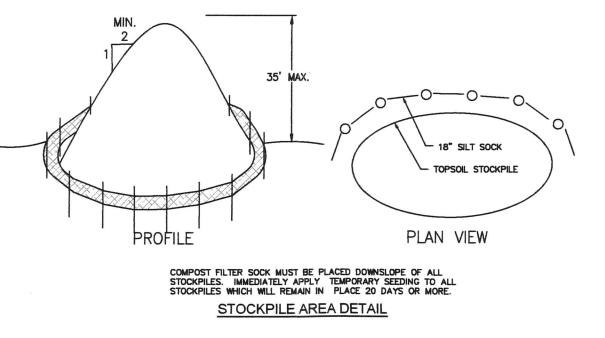
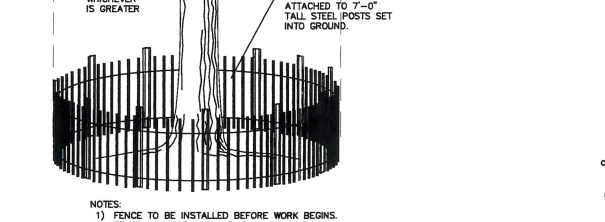
SOLDS SEPARATION: PRIOR TO ANY SITE DISTURBANCE OR CONSTRUCTION ACTIVITIES, A GRAVEL BUFFER WILL BE INSTALLED AT THE EXISTING DRIVEWAYS TO SERVE AS A CONSTRUCTION ENTRANCE. IN ADDITION, FILTER FABRIC FENCING WILL BE INSTALLED AROUND THE PROJECT AREA, DOWNGRADIENT FROM ANY DISTURBANCE, TO PREVENT SEDIMENT FROM LEAVING THE SITE. FILTER FABRIC SILT FENCING WILL BE CONSTRUCTED AND WILL REMAIN OPERATIONAL UNTIL PERMANENT CONTROL MEASURES ARE IN PLACE.

TREE PROTECTION NOTES:

- A. Prior to any site work, clearing, tree removal, grading, or construction, the tree protection area shall be delineated by the following methods:
(1) The tree protection area that is delineated on the site prior to construction shall conform to the approved development plans.
(2) Forty-eight inch high orange fence or other suitable fence, such as super silt fence, mounted on steel posts located 8 feet on center, shall be placed along the boundary of the tree protection area.
(3) Trees being removed shall not be felled, pushed or pulled into a tree protection area or into trees that are to be preserved.
(4) Grade changes and excavations shall not encroach upon the Tree protection area.
(5) No toxic materials, including petroleum products shall be stored less than 100 feet from a tree protection area or a watercourse. If field conditions warrant, a greater distance may be required.
(6) The area within the tree protection area shall not be built upon nor shall any materials be stored there either temporarily or permanently. Vehicles and equipment shall not be parked in the tree protection area.
(7) When tree stumps are located within 10 feet of the tree protection area, the stumps shall be removed by means of a stump grinder to minimize the effect on surrounding root systems.
(8) Tree roots which must be severed shall be cut by a backhoe or similar equipment aligned radially to the tree. This method reduces the lateral movement of the roots during excavation, which if done by other methods could damage the intertwined roots of adjacent trees.
(9) Within 4 hours of any severance of roots, all tree roots that have been exposed and/or damaged shall be trimmed cleanly and covered temporarily with moist peat moss, burlap, or other biodegradable material to keep them from drying out until permanent cover can be installed.
(10) Sediment, retention, and detention basins shall not discharge into the tree protection area.
(11) Sediment, retention, and detention basins shall not be located within the tree protection area.
(12) Trees shall not be used for roping, cables, signs, or fencing. Nails and spikes shall not be driven into trees.
B. Protection from Grade Change.
(1) When the original grade cannot be retained at the tree protection area line, a retaining wall shall be constructed outside the tree protection area.
(2) Appropriate details of the retaining wall design shall be provided.
(3) To ensure the survival of trees, the following methods shall be used:
(a) The top of the wall shall be four inches above the finished grade level.
(b) The wall shall be constructed of large stones, bricks, building tiles, concrete blocks, or treated wood beams not less than 6 inches by 6 inches. A means for drainage through the wall shall be provided so water will not accumulate on either side of the wall. Weep holes shall be required within any wall.
(c) Any severed roots as a result of excavation shall be trimmed so that their edges are smooth and are cut back to a lateral root if exposed.
(4) Trees Damaged Due to Construction: Tree trunks and exposed roots damaged during construction shall be protected from further damage. Damaged branches shall be pruned according to National Arborist Association standards. All cuts shall be made sufficiently close to the trunk or parent limb without cutting into the branch collar or leaving a protruding stub. All necessary pruning cuts must be made to prevent bark from being torn from the tree and to facilitate rapid healing.
(5) Tree Replacement: In the event that trees that are to be protected are removed or damaged by accident or by violation of the tree protection requirements, trees shall be replaced on an inch for inch basis.



- 1. CONSTRUCTION REQUIREMENTS -
A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
B. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
C. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
D. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING AS REQUIRED, TO A FACILITY FOR REMOVAL OF SEDIMENTS IN ACCORDANCE WITH PADEP GUIDELINES.
E. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.
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A. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
B. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDING AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.



Holmes Cunningham LLC 409 E. Butler Ave., Unit 5 Doylestown, PA 19501 (215) 866-3330 www.hcengineering.net

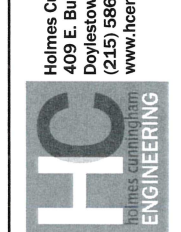
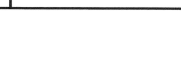
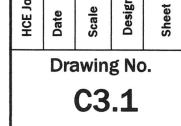
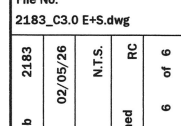
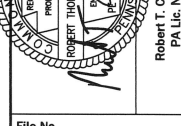
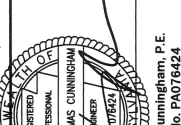
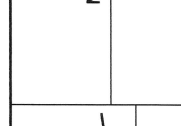


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CALL BEFORE YOU DIG! IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. PENNSYLVANIA ONE-CALL SYSTEM INC. 1-800-242-1776

454 NEW GALENA ROAD PARCEL: 26-001-073 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

E&S NOTES AND DETAILS



Robert J. Cunningham, P.E. PA Lic. No. PA076024

Table with 3 columns: HCE Job, Date, Scale, and Sheet. It contains a single row with the job number '2183', date '02/05/26', scale 'N.T.S.', and sheet number '6 of 6'.

File No. 2183\_C3\_0-E+S.dwg

Drawing No. C3.1



April 20, 2026

File No. 2600339

Doreen Curtin, Zoning Officer  
New Britain Township  
207 Park Avenue  
Chalfont, PA 18914

Reference: Calvitti Minor Subdivision Review 1  
454 New Galena Road, TMP #26-001-073

Dear Doreen:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the submission for the above-referenced project. We offer the following comments for consideration by New Britain Township:

I. Submission

- A. Subdivision Plans prepared for 454 New Galena Road, as prepared by Holmes Cunningham, LLC, dated February 5, 2026, Sheets 1 to 6 of 6.
- B. Post Construction Stormwater Management Plan Narrative for 454 New Galena Road, as prepared by Holmes Cunningham, LLC, dated March 11, 2026.

II. General Information

The property is located at the intersection of New Galena Road (S.R. 4001) and Sellersville Road (T-338) at the northwest corner of the site and consists of 15.42 acres within the SR-2 Suburban Residential Zoning District. The applicant proposes a minor subdivision to create one new B1 single-family dwelling as permitted by-right on a 4.21-acre lot, with an existing single-family dwelling to be retained on the remaining 9.91-acre lot. The proposed dwelling will take access from New Galena Road (S.R. 4001) and is proposed to be served by an onsite well and public sewer. Stormwater is proposed to be managed through a rain garden. Please note that the existing dwelling and barn on Lot 1 are existing non-conformities with respect to the front yard setbacks from New Galena Road and Sellersville Road.

III. Review Comments

A. Zoning Ordinance

- 1. §27-2401.c – For subdivision and land development plans, restrictions meeting Township specifications must be placed in the deed or an easement for each site that has natural resource protection areas within its boundaries. The restrictions shall provide for the continuance of the resource protection areas. A conservation easement should be provided over the required woodlands and steep slope resource protection land on both lots (approximately 3.3 acres).

B. Subdivision and Land Development Ordinance

- 1. §22-406.1 – The Applicant is responsible for any other required approvals, permits, etc. (i.e., BCPC, BCCD, PADEP, Fire Marshal, PennDOT HOP, etc., as applicable.
- 2. §22-406.1.l – Legal descriptions shall be provided for the ultimate rights-of-way, proposed lots, back up septic easements, trail easements, and the required conservation easements.
- 3. §22-502 – The following information should be provided on the plans:
  - a. The plans should be noted as Preliminary/Final Minor Subdivision Plans.

- b. The zoning boundary and adjacent zoning districts should be noted on the Subdivision Plan.
  - c. The cartway and rights-of-way for Sellersville Road and New Galena Road should be provided on the Subdivision Plan.
  - d. The Zoning Table and Impervious Coverage Tables on the Grading Drainage and Utility Plan should be relocated to the Subdivision Plan.
  - e. The layout of the dwelling and driveway should be provided on the Subdivision Plan.
  - f. Metes and bounds should be provided for the legal right-of-way of New Galena Road.
  - g. References to "Future Lots" should be removed from the plan view on Sheets 1 and 2.
  - h. The building coverage and impervious coverage percentages for Lot 1 on the Zoning Table and Impervious Coverage table are incorrect and should be revised.
  - i. The Total Proposed Impervious Coverage for Lot 2 on the Impervious Coverage table is incorrect and should be revised. The table should also note the future impervious area included in the stormwater management design for future reference.
  - j. The existing fence to be removed on Lot 2 should be removed on plans with the proposed improvements. The plans should also note the extent of fence removal.
  - k. The radius of the proposed driveway should be noted on the plans.
  - l. A note shall be added to the Record Plan that any existing trees meeting the SALDO street tree requirement shall remain in perpetuity.
4. §22-502.1.B.(20) – The Record Plan shall offer the ultimate and legal rights-of-way of New Galena Road and Sellersville Road to the authority having jurisdiction. We recommend that the Township formally accept dedication of the ultimate right-of-way line of Sellersville Road.
  5. §22-502.1.J – The following comments related to construction details should be addressed:
    - a. The New Britain Township General Construction Notes and Residential Driveway Paving Section detail should be provided on the plans.
    - b. The extent of pavement restoration in New Galena Road should be designated on the plans.
  6. §22-703.4.C. – Lot lines shall be drawn parallel, concentric, at right angles or radial from the street right-of-way line to the front yard setback. The subdivision line between Lots 1 and 2 is drawn at a 72° angle from the New Galena Road right-of-way line. We note that this line is parallel to the existing southern property line. The lot line is required to be perpendicular to the right-of-way line at a minimum to a distance equal to the front yard setback line.
  7. §22-705.1.G. – All plans that require access to a street under the jurisdiction of PennDOT shall require a highway occupancy permit.
  8. §22-705.3.A – Assuming the Township takes dedication of the ultimate right-of-way of Sellersville Road, the ultimate right-of-way line shall be drawn around the existing building and end at its intersection with the proposed New Galena Road ultimate right-of-way.
  9. §22-705.3.C – Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to improve the street to the Township standards for ultimate right-of-way and cartway widths. New Galena Road and Sellersville Road are considered major collector roads which require 48-foot cartways (24-foot half widths). Sellersville Road has a half width of approximately 10 feet and requires an additional 14 feet of widening. We note that New Galena Road (S.R. 4001) is a state road and any improvements shall be approved by PennDOT. If road widening along Sellersville Road is waived or deferred, we recommend that the swale along Sellersville Road be noted to be cleaned out for stormwater conveyance as a condition of any waivers.

Resolution 2007-12 – For any public improvement waivers granted, the Applicant is required to contribute a fee to the Township to cover 50% of the cost of future improvements to bring Township rights-of-way up to current standards. Based on the current waivers requested, this contribution would be required for widening, curb, sidewalk, etc., if granted. If waived, a cost estimate of the required improvements above with credit for any road improvements to be installed shall be submitted for review. We recommend this cost be estimated prior to the Board of Supervisors acting on the plans.

10. §22-705.3.G – Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1-1/2 inches or install a leveling course and wearing course where requested by the Public Works Superintendent.
11. §22-705.5.C – A fifty-foot clear sight triangle must be provided for all intersections. The Record plan shall show the clear sight triangle and contain a note stating “Within the area of clear sight triangles, obstructions to visibility shall not be permitted within the ranges of height between two feet and seven feet above the edge of paving. Any plant materials placed within clear sight triangles shall be properly maintained to continually comply with the height restrictions. The Township has the right to enter the area and perform maintenance if deemed critical to public welfare pursuant to a Declaration of Covenants, Restrictions, and Conditions approved by the Board.” Any vegetation within the clear sight-triangle shall be shown to be removed.
12. §22-705.13.A & §21-203 – There is an existing stone driveway on Sellersville Road to Lot 1 that is not reflected on the plans, as well as, material stockpiles. The Township does not have record of a Road Opening Permit for this driveway or associated use. Furthermore, any increase in impervious is required to comply with the Township’s ordinance regulations. The related improvements shall be shown on the plans and the impervious areas incorporated into the stormwater design unless removed.
13. §22-705.13.C – All access drives and driveways shall be provided with a stopping area of 20 feet, at a maximum grade of 4%, measured from the edge of cartway. Spot elevations should be provided along the driveway to demonstrate compliance with this requirement.
14. §22-705.13.D – Residential driveways shall have a minimum width of 12 feet. The plan shows a proposed driveway width of 10 feet for Lot 2 and should be widened.
15. §22-705.13.H – Sight distances for Lots 1 and 2 shall be noted on the Subdivision Plan. The site distance from the Lot 2 driveway should be shown on a plan that includes the existing landscaping along New Galena Road. Any vegetation or obstructions in the sight lines shall be noted to be removed.
16. §22-706.1.B & 2.B – Curbs and sidewalks shall be installed along the property frontage of every existing street abutting a proposed subdivision and/or land development. No curbs or sidewalk are proposed along the frontage of Sellersville Road or New Galena Road. We note that a 400-foot section of curb and sidewalk exist on the opposite side of New Galena Road along the Tower Hill Glen subdivision.
17. §22-707.A – The Board, upon the recommendation of the Planning Commission, may require walkways or recreational trails. We note that the Township’s Comprehensive Plan has a goal of providing a bikeway along New Galena Road to County Line Road and there is an existing trail for the Twin Maples subdivision adjacent to the site. If a trail is waived, we recommend the frontage of Lot 2 be graded for the installation of a future trail and an easement provided.
18. §22-710 – We defer to the Township Fire Marshal for review of the plans with respect to water supply, fire service, emergency access, etc.
19. §22-711.2 – The following erosion and sediment control comments shall be addressed:
  - a. A rip rap apron should be provided at the rain garden discharge point.

- b. Erosion control matting should be provided for all slopes of 3:1 or greater. A hatch should be provided to designate these areas.
  - c. A note should be added to the plan requiring inlet protection to be provided for the inlets on Glen Drive, at the intersection with Marshal Circle for the sewer connection disturbance.
  - d. The size of the compost filter sock should be designated on the plans.
  - e. The compost filter sock downslope of the rain garden should be extended to the north for any disturbance related to access to the rain garden.
  - f. A rock filter or other erosion control should be provided at the downslope end of the roadside swale on New Galena Road.
20. §22-711.3 – The following comments related to grading should be addressed:
- a. There is a roadside swale along New Galena Road. Spot elevations should be provided to determine the depth of the swale and to confirm the design of the required driveway culvert.
  - b. Spot elevations should be provided at the edge of the driveway, opposite the garage.
  - c. If a basement is proposed, the elevation should be noted on the plan.
  - d. The existing contours should be labeled on the plans.
  - e. The Rain Garden leader on Sheet 2 notes a berm elevation of 350.00, spillway elevation of 350.85 and bottom elevation of 346.00. This is not consistent with the grades listed on the details on Sheet 4 and should be revised for consistency.
21. §22-711.7.D – An erosion and sedimentation control plan approved by the Bucks County Conservation District for projects disturbing 5,000 square feet or more is required prior to the recording of final plans and any earthmoving activities and shall be kept on-site.
22. §22-713.2.B.(4)&(5) – The tree protection notes per these sections shall be added to the plans. In addition, tree protection fence should be shown on the plan to the southwest of the proposed dwelling and at any location where disturbance is within 15 feet of existing trees.
23. §22-713.2.D – A note shall be added to the plan indicating that any tree designated to remain but damaged by construction shall be replaced by the Applicant on an equivalent caliper basis and in accordance with SALDO section §22-713.2.
24. §22-713.4 – Street trees shall be planted every 30 feet along all existing streets when they abut or lie within the proposed subdivision at least 5 feet outside of the right-of-way. Based on 798 feet of road frontage along New Galena Road, 27 street trees are required along Lots 1 and 2. In addition, the 477 feet of roadway frontage along Sellersville Road requires 16 street trees. Existing trees may be utilized to meet the street tree requirements subject to approval by the Township Engineer.
25. §22-715.2.C(1) – The applicant shall dedicate land to the Township suitable for park and recreation use, unless one of the alternatives set forth in this Section is approved by the Board. Land to be dedicated shall be dedicated prior to recording the final plans. A fee in lieu of the requirement would be **\$2,500.00** for the additional new dwelling unit.
26. §22-716.2 – Concrete monuments shall be placed at rights-of-way and easements.
27. §22-719.2 – A well may be proposed for the lot when public water supply is not available within 100 feet of the property boundary. North Penn Water Authority has a watermain on New Galena Road with a hydrant at the intersection with Glen Drive. A public water service connection should be proposed in place of a private well.

28. §22-720.4 – All public sanitary sewer systems shall be designed and constructed in accordance with standards of the Township and Chalfont-New Britain Township Joint Sewage Authority. The size, material and inverts of the proposed sewer lateral and connection on Glen Drive should be provided on the plan and approved by the Authority. A sanitary sewer easement shall be provided for the sewer main outside of the public right-of-way and to benefit the owner of Lot 1 for future connection. We do not recommend the Township accept dedication of the ultimate right-of-way along New Galena Road, so the easement should extend to the legal right-of-way line.
29. §22-721.3 – A PADEP Sewage Facilities Planning Module mailer has been submitted with the preliminary plan application. Planning module approval is required to be obtained from the PADEP.
30. §22-721.5 & 6 – The on-lot sewage replacement area shall be identified for Lot 1 on the plans. The applicant shall submit to the Township acknowledgment from a reputable inspection company indicating that the existing septic system for Lot 1 is functioning properly prior to final plan recording.
31. §22-721.7 – All lots shall also be tested to identify a suitable replacement area in the event the primary sewage disposal system fails. A back up septic area should be provided on Lot 1 with an easement deed restricting the sewage replacement area from being built upon. The sewage replacement area shall be located a minimum of 25 feet from the primary system, and shall not be located directly down slope of the primary system, or within any well isolation area.

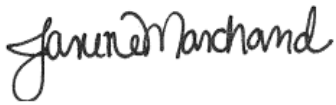
C. Stormwater Management Comments

1. §22-712.2.B. – The runoff from the proposed impervious will be treated through the proposed rain garden. A rain garden is defined as “A stormwater facility planted with specially selected native vegetation to treat and capture runoff and by pooling water on the surface and settling out suspended solids and allowing for infiltration and pollutant removal in the plant/soil/microbe media”. Native vegetation should be selected for the rain garden.
2. §22-712.12.A & C – All proposed driveways, where curbs and storm sewer are not required by the Board, shall have a culvert with flared end sections or endwalls, or trench drain. The minimum culvert size shall be 15 inches, or equivalent, and constructed of reinforced concrete pipe with flared end sections or HDPE with flared end sections and a minimum length of 24 feet extending at least 5 feet from pavement. A driveway culvert should be provided.
3. §26-123.2.B. – Stormwater facilities shall capture the runoff volume from at least the first two inches of runoff from all new impervious surfaces. At least the first inch of runoff volume from the new impervious surfaces shall be permanently removed from the runoff flow-i.e., it shall not be released into the surface waters of the commonwealth. The calculated volume shall be either reused, evapotranspired or infiltrated through structural or nonstructural means. The following comments related to the volume control should be addressed:
  - a. The design and volume calculations indicate the rain garden was designed to accommodate up to 21,780 s.f. of impervious area. Based on this design, 1,815 cubic feet of runoff shall be permanently removed from the runoff flow. The rain garden design includes an underdrain that does not permanently remove any of the runoff. The rain garden design should be modified to provide a minimum of 1,815 c.f. of storage below the lowest orifice for infiltration. If infiltration is not feasible, the rain garden should be designed in accordance with the MRC guidelines from PADEP.
  - b. No more than one inch of runoff volume from impervious surfaces shall be released from the site. The release time must be over 24 to 72 hours. The rain garden design should be revised to ensure the remaining inch of runoff (i.e. additional 1,815 c.f.) is released over a period of at least 24 hours.

- c. A soils evaluation of the project site shall be required to determine the suitability of infiltration facilities. The soil evaluation should include test pits to verify a minimum soil depth of 24 inches between the bottom of the infiltration BMPs and the top of bedrock or seasonally high water table and infiltration testing demonstrating a minimum rate of 0.25 inches per hour.
4. §26-125. – The drainage area map shows the area on the southern side of the dwelling draining to the rain garden. However, a swale on the eastern side of the tree line separating the dwelling from the rain garden appears to redirect the runoff towards the southern property line and possibly bypass the rain garden. The grading should be revised to direct runoff to the rain garden or the drainage area calculations revised to model this area as bypass.
5. §26-125.9 – The following comments related to the rain garden and stormwater management facility should be addressed:
  - a. The Rain Garden Elevation table on Sheet 4 notes a top of berm elevation of 348.85. This is not consistent with the plan which provides spot elevations of 350.85 on the berm. The berm elevation should be clarified.
  - b. A note should be added to the Record Plan stating that any future impervious shall drain to the rain garden.
  - c. Based on an invert of 346.00 for the underdrain invert and a stone envelope of 12 inches, the area over the underdrain will only have 4 inches of top soil and should be revised to provide 6 inches of topsoil.
  - d. The rain garden outfall leader on Sheet 2 notes a sumped inlet which is not shown on the detail on Sheet 4 and should be clarified.
  - e. The rain garden outfall leader on Sheet 2 notes an upturned elbow for the underdrain. This is not consistent with the Rain Garden Underdrain & Outfall Detail on Sheet 4 which shows the underdrain at the same elevation as the discharge invert. The elevation of the underdrain should be clarified.
  - f. Cleanouts should be provided at the terminal ends of the underdrain.
  - g. A detail should be provided for the rain garden outlet structure and grate.
  - h. We recommend a spillway be provided for the rain garden in the event that the discharge pipe is blocked. The spillway should be higher than the 100 year water surface elevation and 6 inches lower than the top of berm elevation.
6. §26-132.C.(9) & (10) – The signature lines from these sections should be provided on a plan to be recorded.
7. §26-162 – A note should be added to the Operation and Maintenance responsibilities stating “Written reports should be filed with the Township in a designated format suitable for Township compliance with NPDES MS4 permit reports to document each inspection. The inspection report shall contain the date and time of the inspection, the individual(s) who completed the inspection, the location of the BMP, facility or structure inspected, observations on performance, and recommendations for improving performance, if applicable. Inspection reports shall be submitted to the municipality within 30 days following completion of the inspection.”
8. §26-164.1 – The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater and storm sewer facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with transfer of ownership and shall be prepared by the Township Solicitor. Applicant will be required to pay a fee for the proposed onsite BMP to provide a financial guarantee for the timely installation, proper construction, and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMP. The Applicant’s professional shall submit a cost estimate for review and approval.

If you have any questions regarding the above, please contact this office.

Sincerely,



Janene Marchand, P.E.  
Project Engineer  
Gilmore & Associates, Inc.

JM/tw

cc: Terry Fedorchak, Interim Manager  
Alexandria Mullin, Assistant to the Manager  
Randy Teschner, Building Code/Fire Marshal  
Ryan Cressman, Public Works Superintendent  
Scott Holbert, Esquire, Flager & Associates  
Richard, Blake, & Eileen Calvitti, Owner/ Applicant ([Mark@Calvitticompany.com](mailto:Mark@Calvitticompany.com))  
Chelsey D. Crocker Jackman, Esq., Begley, Carlin & Mandio, LLP  
Rob Cunningham, P.E., Holmes Cunningham LLC  
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.  
Timothy Wallace, P.E., Gilmore & Associates, Inc.



Kristin Holmes, P.E., LEED AP  
Robert Cunningham, P.E., LEED AP

May 20, 2026

Doreen Curtin, Zoning Officer  
New Britain Township  
207 Park Avenue  
Chalfont, PA 18914

**RE: 454 New Galena Road – Review #1  
TMP#: 26-001-073  
New Britain Township, Bucks County, PA  
HCE Project No.: 2183**

Dear Doreen:

We are in receipt of a review letter for the above-referenced project. Below please find responses to each of the comments contained in this letter.

*Review Letter from Gilmore & Associates, Inc. dated April 20, 2026.*

A. Zoning Ordinance

1. §27-2401.c – For subdivision and land development plans, restrictions meeting Township specifications must be placed in the deed of an easement for each site that has natural resource protection areas within its boundaries. The restrictions shall provide for the continuance of the resource protection areas. A conservation easement should be provided over the required woodlands and steep slope resource protection land on both lots (approximately 3.3 acres).

**Response: The requirement for the deed restriction will be noted on the plans.**

B. Subdivision and Land Development Ordinance

1. §22-406.1 – The Applicant is responsible for any other required approvals, permits, etc. (i.e., BCPC, BCCD, PADEP, Fire Marshal, PennDOT HOP, etc., as applicable).

**Response: Acknowledged. Outside agency approval will be obtained.**

2. §22-406.1.i – Legal descriptions shall be provided for the ultimate rights-of-way, proposed lots, back up septic easements, trail easements, and the required conservation easements.

**Response: Legal descriptions will be provided once all plan review items have been addressed.**

3. §22-502 – The following information should be provided on the plans:

- a. The plans should be noted as Preliminary/Final Minor Subdivision Plans.

**Response: The plan will be revised.**

- b. The zoning boundary and adjacent zoning districts should be noted on the Subdivision Plan.

**Response: The plan will be revised.**

- c. The cartway and rights-of-way for Sellersville Road and New Galena Road should be provided on the Subdivision Plan.  
**Response: The plan will be revised.**
- d. The Zoning Table and Impervious Coverage Tables on the Grading Drainage and Utility Plan should be relocated to the Subdivision Plan.  
**Response: The plan will be revised.**
- e. The layout of the dwelling and driveway should be provided on the Subdivision Plan.  
**Response: The plan will be revised.**
- f. Metes and bounds should be provided for the legal right-of-way of New Galena Road.  
**Response: The plan will be revised.**
- g. References to “Future Lots” should be removed from the plan view on Sheets 1 and 2.  
**Response: The reference will be removed.**
- h. The building coverage and impervious coverage percentages for Lot 1 on the Zoning Table and Impervious Coverage table are incorrect and should be revised.  
**Response: The plan will be revised.**
- i. The Total Proposed Impervious Coverage for Lot 2 on the Impervious Coverage table is incorrect and should be revised. The table should also note the future impervious area included in the stormwater management design for future reference.  
**Response: The plan will be revised.**
- j. The existing fence to be removed on Lot 2 should be removed on plans with the proposed improvements. The plans should also note the extent of fence removal.  
**Response: The plan will be revised.**
- k. The radius of the proposed driveway should be noted on the plans.  
**Response: The plan will be revised.**
- l. A note shall be added to the Record Plan that any existing trees meeting the SALDO street tree requirement shall remain in perpetuity.  
**Response: The plan will be revised.**
4. §22-502.1.B.(20) – The Record Plan shall offer the ultimate and legal rights-of-way of New Galena Road and Sellersville Road to the authority having jurisdiction. We recommend that the Township formally accept dedication of the ultimate right-of-way line of Sellersville Road.  
**Response: The note will be added to the plans.**
5. §22-502.1.J – The following comments related to construction details should be addressed:
- a. The New Britain Township General Construction Notes and Residential Driveway Paving Section detail should be provided on the plans.  
**Response: The detail will be added.**

- b. The extent of pavement restoration in New Galena Road should be designated on the plans.

**Response: The plan will be revised.**

6. §22-703.4.C. – Lot lines shall be drawn parallel, concentric, at right angles or radial from the street right-of-way line to the front yard setback. The subdivision line between Lots 1 and 2 is drawn at a 72° angle from the New Galena Road right-of-way line. We note that this line is parallel to the existing southern property line. The lot line is required to be perpendicular to the right-of-way line at a minimum to a distance equal to the front yard setback line.

**Response: The plan will be revised.**

7. §22-705.1.G. – All plans that require access to a street under the jurisdiction of PennDOT shall require a highway occupancy permit.

**Response: A note will be added and an HOP Permit will be obtained.**

8. §22-705.3.A – Assuming the Township takes dedication of the ultimate right-of-way of Sellersville Road, the ultimate right-of-way line shall be drawn around the existing building and end at its intersection with the proposed New Galena Road ultimate right-of-way.

**Response: The plan will be revised.**

9. §22-705.3.C – Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to improve the street to the Township standards for ultimate right-of-way and cartway widths. New Galena Road and Sellersville Road are considered major collector roads which require 48-foot cartways (24-foot half widths). Sellersville Road has a half width of approximately 10 feet and requires an additional 14 feet of widening. We note that New Galena Road (S.R. 4001) is a state road and any improvements shall be approved by PennDOT. If road widening along Sellersville Road is waived or deferred, we recommend that the swale along Sellersville Road be noted to be cleaned out for stormwater conveyance as a condition of any waivers.

Resolution 2007-12 – For any public improvement waivers granted, the Applicant is required to contribute a fee to the Township to cover 50% of the cost of future improvements to bring Township rights-of-way up to current standards. Based on the current waivers requested, this contribution would be required for widening, curb, sidewalk, etc., if granted. If waived, a cost estimate of the required improvements above with credit for any road improvements to be installed shall be submitted for review. We recommend this cost be estimated prior to the Board of Supervisors acting on the plans.

**Response: Since we are proposing work along New Galena Road only, the applicant is requesting a waiver/ deferral from providing improvements along Sellersville Road until the time when that portion of the property is developed.**

10. §22-705.3.G – Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1-1/2 inches or install a leveling course and wearing course where requested by the Public Works Superintendent.

**Response: Since we are proposing work along New Galena Road only, the applicant is requesting a waiver/deferral from providing improvements along Sellersville Road until the time when that portion of the property is developed.**

11. §22-705.5.C – A fifty-foot clear sight triangle must be provided for all intersections. The Record plan shall show the clear sight triangle and contain a note stating “Within the area of clear sight triangles, obstructions to visibility shall not be permitted within the ranges of height between two feet and seven feet above the edge of paving. Any plant materials placed within clear sight triangles shall be properly maintained to continually comply with the height restrictions. The Township has the right to enter the area and perform maintenance if deemed critical to public welfare pursuant to a Declaration of Covenants, Restrictions, and Conditions approved by the Board.” Any vegetation within the clear sight-triangle shall be shown to be removed.

**Response: A note will be added to the plans and the vegetation will be shown to be removed.**

12. §22-705.13.A & §21-203 – There is an existing stone driveway on Sellersville Road to Lot 1 that is not reflected on the plans, as well as, material stockpiles. The Township does not have record of a Road Opening Permit for this driveway or associated use. Furthermore, any increase in impervious is required to comply with the Township’s ordinance regulations. The related improvements shall be shown on the plans and the impervious areas incorporated into the stormwater design unless removed.

**Response: The farm access driveway will be shown on the existing plans and applicant will work with the township and farmer to ensure it is properly permitted.**

13. §22-705.13.C – All access drives and driveways shall be provided with a stopping area of 20 feet, at a maximum grade of 4%, measured from the edge of cartway. Spot elevations should be provided along the driveway to demonstrate compliance with this requirement.

**Response: The plan will be revised.**

14. §22-705.13.D – Residential driveways shall have a minimum width of 12 feet. The plan shows a proposed driveway width of 10 feet for Lot 2 and should be widened.

**Response: The driveway width will be revised to provide 12 feet.**

15. §22-705.13.H – Sight distances for Lots 1 and 2 shall be noted on the Subdivision Plan. The site distance from the Lot 2 driveway should be shown on a plan that includes the existing landscaping along New Galena Road. Any vegetation or obstructions in the sight lines shall be noted to be removed.

**Response: The plan will be revised and the note will be added.**

16. §22-706.1.B & 2.B – Curbs and sidewalks shall be installed along the property frontage of every existing street abutting a proposed subdivision and/or land development. No curbs or sidewalk are proposed along the frontage of Sellersville Road or New Galena Road. We note that a 400-foot section of curb and sidewalk exist on the opposite side of New Galena Road along the Tower Hill Glen subdivision.

**Response: The applicant is requesting a waiver from providing curb and sidewalk along the property frontages.**

17. §22-707.A – The Board, upon the recommendation of the Planning Commission, may require walkways or recreational trails. We note that the Township's Comprehensive Plan has a goal of providing a bikeway along New Galena Road to County Line Road and there is an existing trail for the Twin Maples subdivision adjacent to the site. If a trail is waived, we recommend the frontage of Lot 2 be graded for the installation of a future trail and an easement provided.

**Response: The applicant will discuss this with the Planning Commission and the Board of Supervisors.**

18. §22-710 – We defer to the Township Fire Marshal for review of the plans with respect to water supply, fire service, emergency access, etc.

**Response: Acknowledged.**

19. §22-711.2 – The following erosion and sediment control comments shall be addressed:

- a. A rip rap apron should be provided at the rain garden discharge point.

**Response: The plan will be revised.**

- b. Erosion control matting should be provided for all slopes of 3:1 or greater. A hatch should be provided to designate these areas.

**Response: The plan will be revised.**

- c. A note should be added to the plan requiring inlet protection to be provided for the inlets on Glen Drive, at the intersection with Marshal Circle for the sewer connection disturbance.

**Response: The plan will be revised.**

- d. The size of the compost filter sock should be designated on the plans.

**Response: The plan will be revised.**

- e. The compost filter sock downslope of the rain garden should be extended to the north for any disturbance related to access to the rain garden.

**Response: The plan will be revised.**

- f. A rock filter or other erosion control should be provided at the downslope end of the roadside swale on New Galena Road.

**Response: The plan will be revised.**

20. §22-711.3 – The following comments related to grading should be addressed:

- a. There is a roadside swale along New Galena Road. Spot elevations should be provided to determine the depth of the swale and to confirm the design of the required driveway culvert.

**Response: The plan will be revised.**

- b. Spot elevations should be provided at the edge of the driveway, opposite the garage.

**Response: The plan will be revised.**

- c. If a basement is proposed, the elevation should be noted on the plan.

**Response: The plan will be revised.**

- d. The existing contours should be labeled on the plans.

**Response: The plan will be revised.**

- e. The Rain Garden leader on Sheet 2 notes a berm elevation of 350.00, spillway elevation of 350.85 and bottom elevation of 346.00. This is not consistent with the grades listed on the details on Sheet 4 and should be revised for consistency.

**Response: The plan will be revised.**

21. §22-711.7.D – An erosion and sedimentation control plan approved by the Bucks County Conservation District for projects disturbing 5,000 square feet or more is required prior to the recording of final plans and any earthmoving activities and shall be kept on-site.

**Response: BCCD approval will be obtained.**

22. §22-713.2.B.(4)&(5) – The tree protection notes per these sections shall be added to the plans. In addition, tree protection fence should be shown on the plan to the southwest of the proposed dwelling and at any location where disturbance is within 15 feet of existing trees.

**Response: The notes will be added.**

23. §22-713.2.D – A note shall be added to the plan indicating that any tree designated to remain but damaged by construction shall be replaced by the Applicant on an equivalent caliper basis and in accordance with SALDO section §22-713.2.

**Response: A note will be added.**

24. §22-713.4 – Street trees shall be planted every 30 feet along all existing streets when they abut or lie within the proposed subdivision at least 5 feet outside of the right-of-way. Based on 798 feet of road frontage along New Galena Road, 27 street trees are required along Lots 1 and 2. In addition, the 477 feet of roadway frontage along Sellersville Road requires 16 street trees. Existing trees may be utilized to meet the street tree requirements subject to approval by the Township Engineer.

**Response: The applicant is requesting a waiver from the street tree requirements. The existing trees will be reviewed with the township engineer. The existing conditions include the placement of the existing structures and existing utilities make strict compliance infeasible.**

25. §22-715.2.C(1) – The applicant shall dedicate land to the Township suitable for park and recreation use, unless one of the alternatives set forth in this Section is approved by the Board. Land to be dedicated shall be dedicated prior to recording the final plans. A fee in lieu of the requirement would be \$2,500.00 for the additional new dwelling unit.

**Response: A fee in lieu will be provided.**

26. §22-716.2 – Concrete monuments shall be placed at rights-of-way and easements.

**Response: The plan will be revised.**

27. §22-719.2 – A well may be proposed for the lot when public water supply is not available within 100 feet of the property boundary. North Penn Water Authority has a watermain on New Galena Road with a hydrant at the intersection with Glen Drive. A public water service connection should be proposed in place of a private well.

**Response: A connection to the existing water main will be coordinated with NPWA.**

28. §22-720.4 – All public sanitary sewer systems shall be designed and constructed in accordance with standards of the Township and Chalfont-New Britain Township Joint Sewage Authority. The size, material and inverts of the proposed sewer lateral and connection on Glen Drive should be provided on the plan and approved by the Authority. A sanitary sewer easement shall be provided for the sewer main outside of the public right-of-way and to benefit the owner of Lot 1 for future connection. We do not recommend the Township accept dedication of the ultimate right-of-way along New Galena Road, so the easement should extend to the legal right-of-way line.

**Response: An easement will be provided.**

29. §22-721.3 – A PADEP Sewage Facilities Planning Module mailer has been submitted with the preliminary plan application. Planning module approval is required to be obtained from the PADEP.

**Response: Planning module approval will be obtained.**

30. §22-721.5 & 6 – The on-lot sewage replacement area shall be identified for Lot 1 on the plans. The applicant shall submit to the Township acknowledgment from a reputable inspection company indicating that the existing septic system for Lot 1 is functioning properly prior to final plan recording.

**Response: The sewage system will be inspected prior to plan recording.**

31. §22-721.7 – All lots shall also be tested to identify a suitable replacement area in the event the primary sewage disposal system fails. A back up septic area should be provided on Lot 1 with an easement deed restricting the sewage replacement area from being built upon. The sewage replacement area shall be located a minimum of 25 feet from the primary system, and shall not be located directly down slope of the primary system, or within any well isolation area.

**Response: The applicant is requesting a waiver from providing a on-lot sewage replacement system. The applicant would propose to connect to the public sewer system at the time of the existing sewer systems fails.**

#### C. Stormwater Management Comments

1. §22-712.2.B. – The runoff from the proposed impervious will be treated through the proposed rain garden. A rain garden is defined as “A stormwater facility planted with specially selected native vegetation to treat and capture runoff and by pooling water on the surface and settling out suspended solids and allowing for infiltration and pollutant removal in the plant/soil/microbe media”. Native vegetation should be selected for the rain garden.

**Response: The native vegetation will be provided.**

2. §22-712.12.A & C – All proposed driveways, where curbs and storm sewer are not required by the Board, shall have a culvert with flared end sections or endwalls, or trench drain. The minimum culvert size shall be 15 inches, or equivalent, and constructed of reinforced concrete pipe with flared end sections or HDPE with flared end sections and a minimum length of 24 feet extending at least 5 feet from pavement. A driveway culvert should be provided.

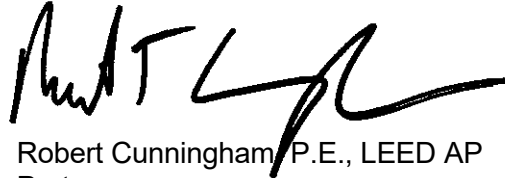
**Response: The plan will be revised.**

3. §26-123.2.B. – Stormwater facilities shall capture the runoff volume from at least the first two inches of runoff from all new impervious surfaces. At least the first inch of runoff volume from the new impervious surfaces shall be permanently removed from the runoff flow-i.e., it shall not be released into the surface waters of the commonwealth. The calculated volume shall be either reused, evapotranspired or infiltrated through structural or nonstructural means. The following comments related to the volume control should be addressed:
- a. The design and volume calculations indicate the rain garden was designed to accommodate up to 21,780 s.f. of impervious area. Based on this design, 1,815 cubic feet of runoff shall be permanently removed from the runoff flow. The rain garden design includes an underdrain that does not permanently remove any of the runoff. The rain garden design should be modified to provide a minimum of 1,815 c.f. of storage below the lowest orifice for infiltration. If infiltration is not feasible, the rain garden should be designed in accordance with the MRC guidelines from PADEP.  
**Response: The rain garden will be revised.**
  - b. No more than one inch of runoff volume from impervious surfaces shall be released from the site. The release time must be over 24 to 72 hours. The rain garden design should be revised to ensure the remaining inch of runoff (i.e. additional 1,815 c.f.) is released over a period of at least 24 hours.  
**Response: The calculations will be revised.**
  - c. A soils evaluation of the project site shall be required to determine the suitability of infiltration facilities. The soil evaluation should include test pits to verify a minimum soil depth of 24 inches between the bottom of the infiltration BMPs and the top of bedrock or seasonally high water table and infiltration testing demonstrating a minimum rate of 0.25 inches per hour.  
**Response: Soils testing will be provided.**
4. §26-125. – The drainage area map shows the area on the southern side of the dwelling draining to the rain garden. However, a swale on the eastern side of the tree line separating the dwelling from the rain garden appears to redirect the runoff towards the southern property line and possibly bypass the rain garden. The grading should be revised to direct runoff to the rain garden or the drainage area calculations revised to model this area as bypass.  
**Response: The plan will be revised to direct runoff to the rain garden.**
5. §26-125.9 – The following comments related to the rain garden and stormwater management facility should be addressed:
- a. The Rain Garden Elevation table on Sheet 4 notes a top of berm elevation of 348.85. This is not consistent with the plan which provides spot elevations of 350.85 on the berm. The berm elevation should be clarified.  
**Response: The elevations will be revised to be consistent.**
  - b. A note should be added to the Record Plan stating that any future impervious shall drain to the rain garden.  
**Response: A note will be added.**

- c. Based on an invert of 346.00 for the underdrain invert and a stone envelope of 12 inches, the area over the underdrain will only have 4 inches of top soil and should be revised to provide 6 inches of topsoil.  
**Response: The underdrain will be revised.**
- d. The rain garden outfall leader on Sheet 2 notes a sumped inlet which is not shown on the detail on Sheet 4 and should be clarified.  
**Response: The plan will be revised.**
- e. The rain garden outfall leader on Sheet 2 notes an upturned elbow for the underdrain. This is not consistent with the Rain Garden Underdrain & Outfall Detail on Sheet 4 which shows the underdrain at the same elevation as the discharge invert. The elevation of the underdrain should be clarified.  
**Response: The plans will be revised to be consistent.**
- f. Cleanouts should be provided at the terminal ends of the underdrain.  
**Response: The plan will be revised.**
- g. A detail should be provided for the rain garden outlet structure and grate.  
**Response: The detail will be provided.**
- h. We recommend a spillway be provided for the rain garden in the event that the discharge pipe is blocked. The spillway should be higher than the 100 year water surface elevation and 6 inches lower than the top of berm elevation.  
**Response: A spillway will be provided.**
6. §26-132.C.(9) & (10) – The signature lines from these sections should be provided on a plan to be recorded.  
**Response: The plan will be revised.**
7. §26-162 – A note should be added to the Operation and Maintenance responsibilities stating “Written reports should be filed with the Township in a designated format suitable for Township compliance with NPDES MS4 permit reports to document each inspection. The inspection report shall contain the date and time of the inspection, the individual(s) who completed the inspection, the location of the BMP, facility or structure inspected, observations on performance, and recommendations for improving performance, if applicable. Inspection reports shall be submitted to the municipality within 30 days following completion of the inspection.”  
**Response: A note will be added to the plans.**
8. §26-164.1 – The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater and storm sewer facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with transfer of ownership and shall be prepared by the Township Solicitor. Applicant will be required to pay a fee for the proposed onsite BMP to provide a financial guarantee for the timely installation, proper construction, and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMP. The Applicant’s professional shall submit a cost estimate for review and approval.  
**Response: Acknowledged.**

If you have any questions or require additional information, please do not hesitate to contact us at 215-586-3330 or [rob@hceengineering.net](mailto:rob@hceengineering.net)

Very truly yours,  
**Holmes Cunningham Engineering**

A handwritten signature in black ink, appearing to read 'Rob Cunningham', written over a horizontal line.

Robert Cunningham, P.E., LEED AP  
Partner

cc: Mark Calvitti – Applicant  
Chelsea Crocker Jackman, Esq. – Begley Carlin

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