

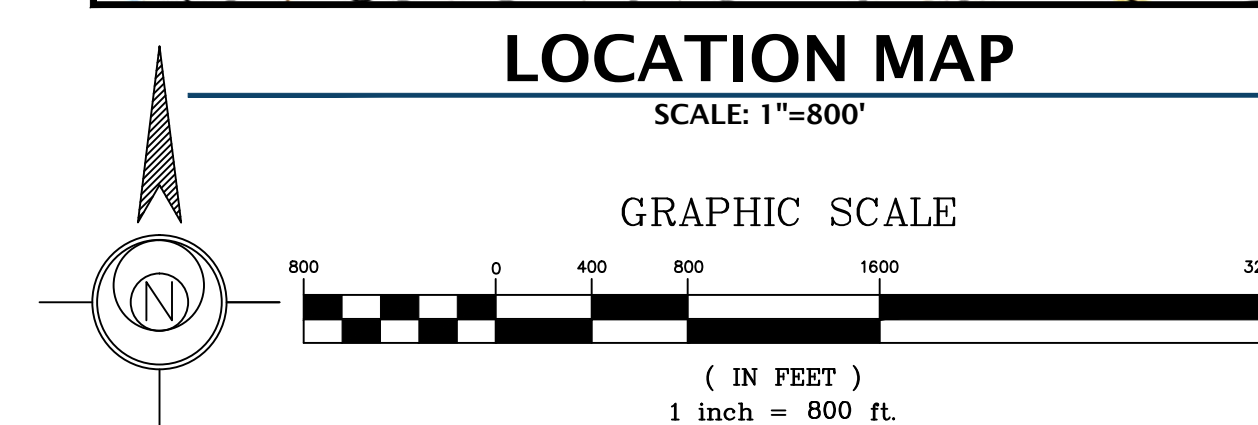
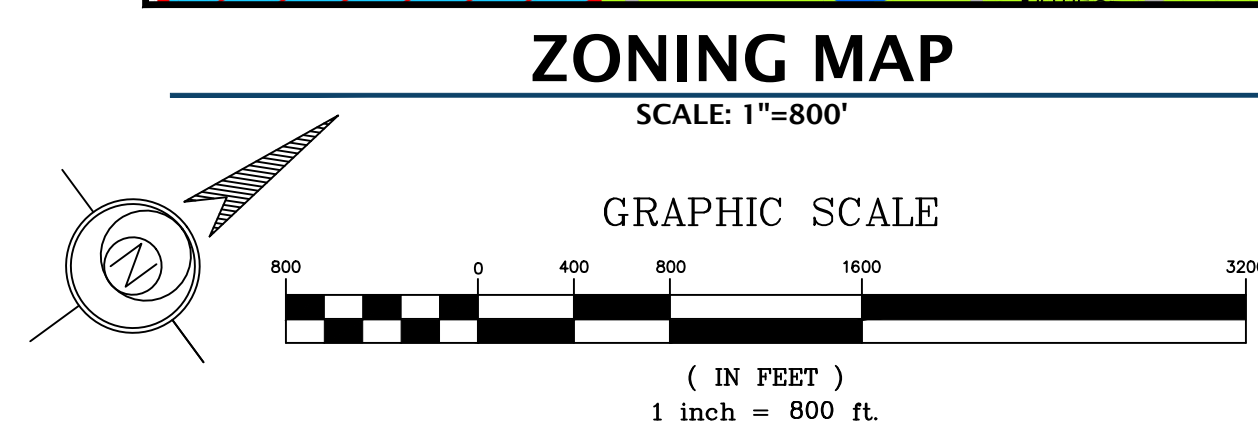
TMP #26-06-101, #26-06-101-003, # 26-06-101-004  
COUNTY LINE ROAD AND WEST BUTLER AVENUE  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

CTP MANAGEMENT LLC  
4123 CREAMERY ROAD  
CREAMERY, PA 19430  
610-489-2122

TOLL MID-ATLANTIC LP COMPANY, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA 19034  
215-938-8000

ESE CONSULTANTS, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA 19034  
215-914-2050

JUSTIN BARNETT, RLA, AICP  
PLANNER & LANDSCAPE ARCHITECT



3.) THE PROPOSED DEVELOPMENT PROPOSES DISTURBANCE OF WETLAND MARGIN AREA FOR SITE GRADING DISTURBANCE FOR STORMWATER MANAGEMENT FACILITIES. NO DISTURBANCES TO WETLANDS AREA PROPOSED.

1. THIS PLAN IS THE EXCLUSIVE PROPERTY OF ESE CONSULTANTS INC., AND TOLL BROTHERS INC.. ALL RIGHTS AND REMEDIES ARE HEREBY RESERVED. THIS PLAN MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF ESE CONSULTANTS INC., AND TOLL BROTHERS INC..
2. PROJECT PARCELS INCLUDE: WAWBA PARK (TMP #26-06-101), CREAMERY TIRE PARK (TMP #26-06-101-003), RESIDENTIAL PARK (TMP #26-06-101-004).
3. SITE DOES NOT CONTAIN AREAS WITHIN 100-YEAR FLOODPLAIN FEMA COMMUNITY PANEL: 42017C0288K DATED: 3/21/2017.

\*TO BE RECORDED

EROSION & SEDIMENT PLANS		
SHEET NO.	REFERENCE NO.	DESCRIPTION
1	ES01.01	COVER SHEET
2 - 6	ES20.01 - ES20.05	EROSION AND SEDIMENT CONTROL PLAN
7 - 10	ES20.06 - ES20.09	EROSION AND SEDIMENT CONTROL DETAILS
11	ES20.10	EROSION AND SEDIMENT CONTROL NOTES

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN		
SHEET NO.	REFERENCE NO.	DESCRIPTION
1*	PC01.01	PCSM COVER SHEET
2-3*	PC02.01-PC02.02	PCSM NOTES
4-7*	PC03.01 - PC03.04	EXISTING FEATURES PLANS
8*	PC04.01	PCSM OVERALL SITE PLAN
9*	PC40.01	PRE-DEVELOPED DRAINAGE PLAN
10*	PC40.02	POST-DEVELOPED DRAINAGE PLAN
11-15*	PC05.01 - PC05.05	PCSM DRAINING PLANS
16-18*	PC09.08 - PC09.10	PCSM DETAILS

PLAN IDENTIFICATION	STREET NAME
ROAD "A"	BRIANNA COURT
ROAD "B"	ABIGAIL WAY

**ESE Consultants, Inc.**  
140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

[illegible]

COVER SHEET

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS. COUNTY, PENNSYLVANIA

DATE: 10/6/23	SCALE: AS NOTED
DESIGN: JMM	DRAWN: EJS
JOB NO.: 8363	FILE NAME: 8363-S-01-COVE
REF. NO.:	<b>SD01.01</b>
SHEET NO.:	<b>1 OF 43</b>



OWNER OF RECORD  
CTP MANAGEMENT LLC  
4123 CREAMERY ROAD  
CREAMERY, PA 19430  
610-489-2122

EQUITABLE OWNER/APPLICANT  
TOLL MID-ATLANTIC LP COMPANY, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA 19034  
215-938-8000

ENGINEER, SURVEYOR, PLANNER, LANDSCAPE ARCHITECT  
ESE CONSULTANTS, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA 19034  
215-914-2050  
CONTACT:  
JEFF MADDEN, P.E.  
PROJECT ENGINEER  
JUSTIN BARNETT, RLA  
PLANNER & LANDSCAPE ARCHITECT  
THOMAS B. HENDRICKS, P.L.S.  
DIRECTOR OF FIELD OPERATIONS

ZONING:  
ZONING DISTRICT: C-1 COMMERCIAL  
PROPOSED USE: J31 PCCM- PLANNED COMMUNITY MIXED USE  
PROPOSED SUB-USE: B5 SINGLE FAMILY ATTACHED TOWNHOMES

SITE DATA:  
GROSS SITE AREA (TO TITLE LINE): 15.775 AC  
-W.BUTLER AVE EX & ULT ROW: .9090 AC  
TOTAL SITE AREA: 14.866 AC (1)  
WAWA PARCEL (TMP #26-06-101): 4.137 AC  
CREAMERY TIRE PARCEL (TMP #26-06-101-003): 2.123 AC  
RESIDENTIAL PARCEL (TMP #26-06-101-004): 8.606 AC

ZONING REQUIREMENTS: (C-1 COMMERCIAL)		
BULK REQUIREMENTS	REQUIRED	PROPOSED
MAX. IMPERVIOUS COVERAGE (LOT)	35%	30%
MAX. IMPERVIOUS (SITE)	70%	52.6%
MIN. LOT WIDTH:	150 FT	>150 FT
MIN. LOT DEPTH:	120 FT	>120 FT
MAX. BUILDING COVERAGE (LOT)	40%	33%
MIN. YARDS SETBACK:		
FRONT:	40 FT	40 FT
SIDE:	15 FT	15 FT
REAR:	30 FT	30 FT

ZONING REQUIREMENTS: (B5 SINGLE FAMILY ATTACHED)		
BULK REQUIREMENTS	REQUIRED	PROPOSED
MIN. LOT AREA:	FOOTPRINT+200 SF	FP+200 SF
MIN. LOT WIDTH: 1 CAR	20 FT	22 FT
MAX. IMPERVIOUS: (LOT)	35%	30%
MIN. FRONT YARD SETBACK:		
FROM ULT. STREET ROW:	30 FT	30 FT
FROM PARKING:	20 FT	20 FT
BUFFER YARD:	20' WIDE/SCREENING	20' WIDE/SCREENING
MAX. UNITS ATTACHED:	8 DU	6 DU
MIN. BLDG. SEPARATION:	30 FT	30 FT
REQUIRED PARKING: (3 BDRM)	2 SP/DU	3 SP/DU
REQUIRED VISITOR PARKING:	.3 SP/DU (14 SP)	.3 SP/DU (14 SP)
PROPOSED GROSS DENSITY:	N/A	5.12 DU/AC

AREA TABULATION - BIRCH RUN AT NEW BRITAIN:

BRIANNA COURT ROW EASEMENT AREA:	41,967 SQ. FT. OR 0.963 ACRES
ABIGAIL WAY ROW EASEMENT AREA:	15,096 SQ. FT. OR 0.347 ACRES
EXISTING ACCESS ROAD AREA:	24,742 SQ. FT. OR 0.568 ACRES
OPEN SPACE A AREA:	205,409 SQ. FT. OR 4.716 ACRES*
OPEN SPACE B AREA:	81,016 SQ. FT. OR 1.860 ACRES**
OPEN SPACE C AREA:	6,632 SQ. FT. OR 0.152 ACRES
TOTAL SITE AREA:	374,862 SQ. FT. OR 8.606 ACRES

\*OPEN SPACE A INCLUDES:  
LOTS 1 THROUGH 27 AREA: 55,949 SQ. FT. OR 1.285 ACRES(MORE OR LESS).  
COMMON OPEN SPACE AREA: 55,008 SQ. FT. OR 1.263 ACRES.  
OPEN SPACE AREA: 94,452 SQ. FT. OR 2.168 ACRES.  
\*\*OPEN SPACE B INCLUDES:  
LOTS 28 THROUGH 44 AREA: 34,923 SQ. FT. OR 0.802 ACRES(MORE OR LESS).  
COMMON OPEN SPACE AREA: 25,518 SQ. FT. OR 0.586 ACRES.  
OPEN SPACE AREA: 20,575 SQ. FT. OR 0.492 ACRES.

CERTIFICATE OF OWNERS INTENT:

TO ALL TO WHOM THESE PRESENT MAY COME, WE CTP MANAGEMENT, LLC, SEND GREETINGS, KNOW YE THAT I, WE HAVE LAID OUT ON LANDS IN NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA, CERTAIN LOTS ACCORDING TO THIS PLAN, WHICH IS INTENDED TO BE FORTHWITH RECORDED, WITNESS MY, OUR HAND AND SEAL.

CTP MANAGEMENT, LLC  
BY: \_\_\_\_\_  
(SIGNATURE)

NAME: \_\_\_\_\_  
(PRINTED)

TITLE: \_\_\_\_\_

CERTIFICATE OF OWNERS ACKNOWLEDGEMENT:

COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF BUCKS :

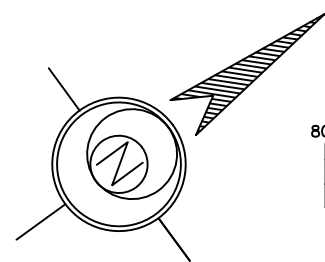
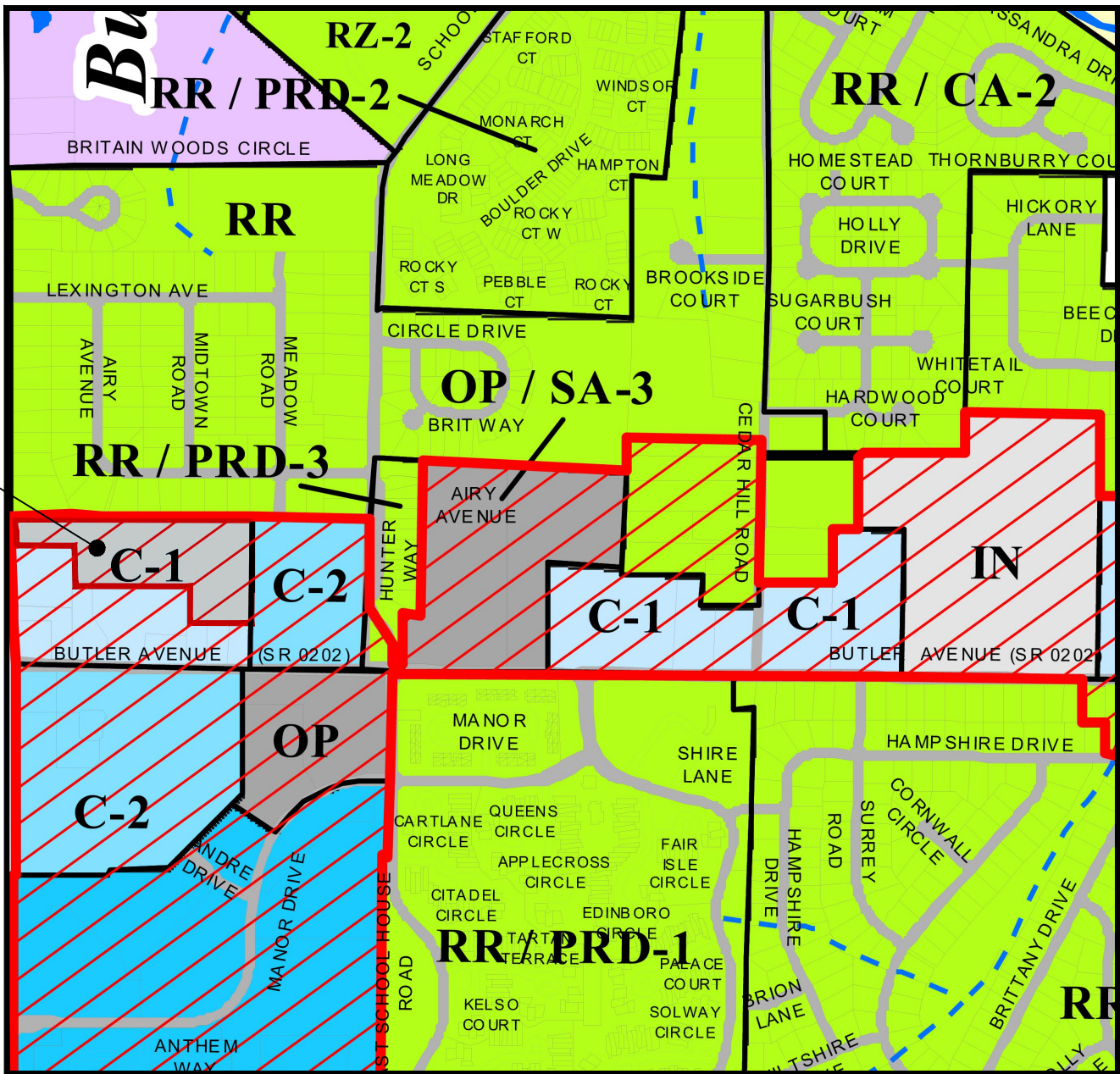
ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024, BEFORE ME A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_, WHO ACKNOWLEDGED HIMSELF TO BE AN AUTHORIZED \_\_\_\_\_ OF CTP MANAGEMENT, LLC, AND THAT ON BEHALF OF SAME, BEING AUTHORIZED TO DO SO, DULY EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO UNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

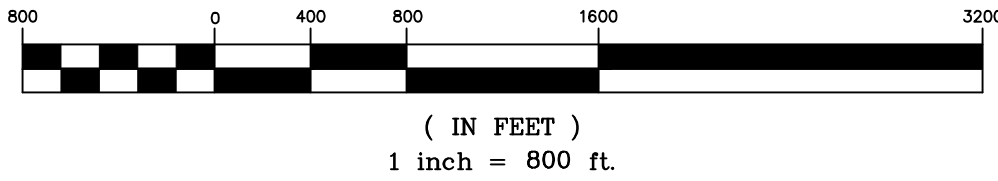
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ZONING MAP

SCALE: 1"=800'

GRAPHIC SCALE



OPEN SPACE CALCULATION:  
TOTAL OPEN SPACE:

COMMON OPEN SPACE A AREA:	55,008 SQ. FT. OR 1.263 ACRES
OPEN SPACE A AREA:	94,452 SQ. FT. OR 2.168 ACRES
COMMON OPEN SPACE B AREA:	25,518 SQ. FT. OR 0.586 ACRES
OPEN SPACE B AREA:	20,575 SQ. FT. OR 0.492 ACRES
OPEN SPACE C AREA:	6,632 SQ. FT. OR 0.152 ACRES
TOTAL OPEN SPACE AREA:	202,185 SQ. FT. OR 4.661 ACRES

LIST OF VARIANCES GRANTED ON 4/19/18 BY THE ZONING HEARING BOARD:

- A VARIANCE FROM §27-305.J3 1 .C. 1. (USE DEFINITIONS AND REGULATIONS) OF THE NEW BRITAIN TOWNSHIP ZONING CODE TO ALLOW A J31 PLANNED COMMUNITY CENTER MIXED USE WITH A BASE SITE AREA OF 14.866 ACRES IN LIEU OF THE REQUIRED MINIMUM 15 ACRES.

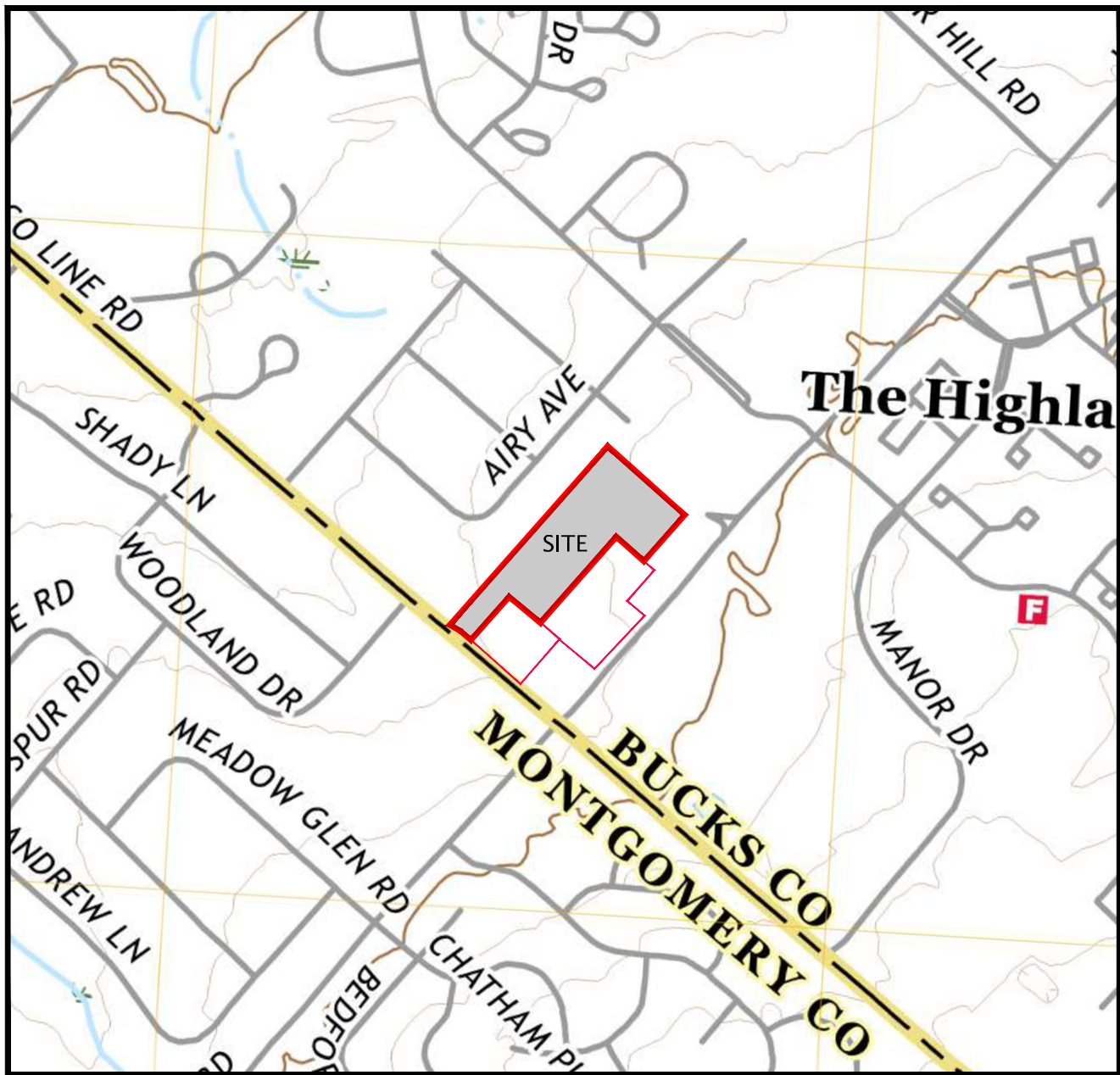
APPROVAL OF THE NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS:  
APPROVED BY THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP THIS ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

CHAIRMAN  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REVIEW OF THE TOWNSHIP ENGINEER:  
REVIEWED BY NEW BRITAIN TOWNSHIP ENGINEER

TOWNSHIP ENGINEER  
\_\_\_\_\_  
DATE

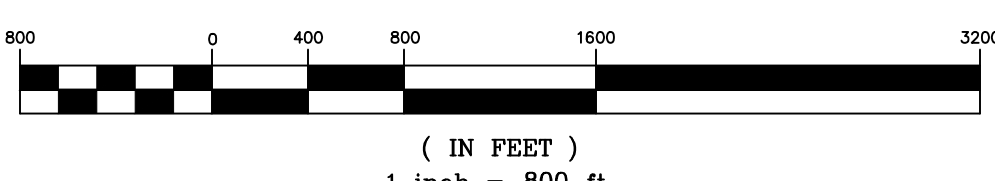
BUCKS COUNTY PLANNING COMMISSION:  
APPROVED BY BUCKS COUNTY PLANNING COMMISSION, 2024  
B.C.P.C. REVIEW #11432-B



LOCATION MAP

SCALE: 1"=800'

GRAPHIC SCALE



PROPOSED USE:

THE PURPOSED SITE PLAN PROPOSES THE DEMOLITION OF THE EXISTING 1-STORY METAL GARAGE AND ELIMINATION OF ITS GRAVEL ACCESS ROAD AND PARKING AREA. THE PROJECT IS INTENT IS TO PROVIDE 44 SINGLE FAMILY ATTACHED TOWNHOMES. SITE PLAN PROPOSES THESE RESIDENTIAL DWELLINGS IN CONJUNCTION WITH OPEN SPACE, LANDSCAPE BUFFERS, NATURAL RESOURCE PROTECTION AND STORMWATER MANAGEMENT FACILITIES. ALL COMMON LANDS ARE TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.

WETLANDS CERTIFICATION

I, \_\_\_\_\_, HEREBY CERTIFY THE DELINEATED WETLANDS SHOWN ON THE PLAN IN ACCORDANCE WITH THE FINDINGS OF MY FIELD INVESTIGATION AND BASED UPON THE U.S. ARMY CORPS OF ENGINEER GUIDELINES.

DATE

APPLICANT CERTIFICATION

I/WE, CTP MANAGEMENT, LLC ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND THAT A REVISED E&S PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT.

DATE

CTP MANAGEMENT, LLC  
PA LICENSE NO. PE-070760

ENGINEER CERTIFICATION

I, JEFFREY M. MADDEN, P.E. ON THIS DAY OF \_\_\_\_\_, 2024, HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE NESHAMINY CREEK WATERSHED ACT 167 STORMWATER MANAGEMENT ORDINANCE OR PLAN.

DATE

JEFFREY M. MADDEN, P.E.  
PA LICENSE NO. PE-070760

GENERAL NOTES:

- THIS PLAN IS THE EXCLUSIVE PROPERTY OF ESE CONSULTANTS INC., AND TOLL BROTHERS INC. ALL RIGHTS AND REMEDIES ARE HEREBY RESERVED. THIS PLAN MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF ESE CONSULTANTS INC., AND TOLL BROTHERS INC.
- PROJECT PARCEL INCLUDE: RESIDENTIAL PARCEL (TMP #26-06-101-004).
- SITE DOES NOT CONTAIN AREAS WITHIN 100-YEAR FLOODPLAIN FEMA COMMUNITY PANEL: 42017C0288K DATED: 3/21/2017.
- ALL MONUMENTS AND MARKERS SHALL BE SET AND CERTIFIED BY A PROFESSIONAL LAND SURVEYOR. ALL MONUMENTS AND MARKERS SHALL BE SET WITHIN 0.04 OF A FOOT FROM ITS REQUIRED LOCATION.
- DESIGN ENGINEER, SURVEYOR, PLANNER, LANDSCAPE ARCHITECT:  
ESE CONSULTANTS, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA. 19034  
215/914-2050
- WETLANDS CONSULTANT:  
GTA  
2405 JOHN FRIES HIGHWAY  
QUAKERTOWN, PA. 18951  
215/536-8363
- WETLAND PRELIMINARY JURISDICTION DETERMINATION WAS OBTAINED ON SEPTEMBER 1, 2022 (NAP-2022-00532-45).
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NEW BRITAIN TOWNSHIP CODES, SPECIFICATIONS AND THE ENGINEERING AND CONSTRUCTION STANDARDS.
- THESE PLANS WERE PREPARED PER THE NEW BRITAIN TOWNSHIP, STORMWATER MANAGEMENT ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE ZONING AND PLANNED RESIDENTIAL DEVELOPMENT ORDINANCE, AS LAST AMENDED.
- FURTHER SUBDIVISION OF ANY OF THE LOTS, BOTH PRIVATE LOTS AND OPEN SPACE LOTS IN THIS SUBDIVISION IS PROHIBITED.
- THE PROPOSED ROADS WILL BE IN AN EASEMENT. ROADS TO BE BUILT TO TOWNSHIP STANDARDS. THE HOA WILL MAINTAIN STORM SEWER, SIDEWALK, CURBING AND ROADS WITHIN THE EASEMENT.
- STATE OR TOWNSHIP ROAD OCCUPANCY PERMITS, AS APPLICABLE, TO BE OBTAINED AS NECESSARY.
- PROPOSED LOTS TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- EACH UNIT (WITH OPTIONS AND DRIVEWAY) WILL BE LIMITED TO THE TOTAL IMPERVIOUS AREA LISTED IN THE CHART LOCATED ON SHEET 3A.
- TRASH COLLECTION AREAS SHALL BE LOCATED TO THE REAR OF THE BUILDING OR IN THE GARAGE AND SHIELDED FROM ADJACENT PROPERTIES AND ALL STREETS.
- HOME OWNERS ASSOCIATION:
  - THE HOMEOWNERS ASSOCIATION MAY NOT BE DISSOLVED, NOR MAY IT DISPOSE OF THE OPEN SPACE BY SALE OR OTHERWISE, WITHOUT FIRST OFFERING TO DEDICATE THE SAME TO THE TOWNSHIP AT NO COST.
  - THE HOMEOWNERS ASSOCIATION DOCUMENTS WILL CONTAIN AN OPEN SPACE MANAGEMENT PLAN TO PROTECT THE SIGNIFICANT NATURAL FEATURES OF THE PROPERTY.
  - THE HOMEOWNERS ASSOCIATION DOCUMENTS SHALL BE SUBMITTED FOR REVIEW BY THE TOWNSHIP SOLICITOR AS PART OF THE FINAL SUBDIVISION AND LAND DEVELOPMENT APPROVAL.
  - THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ENTRANCE SIGN, DECORATIVE WALLS, FENCES OR LANDSCAPE ASSOCIATED WITH THEM.
- ALL WATER FACILITIES WITHIN THIS DEVELOPMENT, INCLUDING THE WATER MAIN AND WATER SERVICE PIPING UP TO AND INCLUDING CURB STOPS, FIRE LINE ISOLATION VALVES AND FIRE HYDRANTS, SHALL BE OFFERED FOR DEDICATION TO THE NORTH WALES WATER AUTHORITY. ALL WATER PIPING AND ASSOCIATED APPURTENANCES DOWNSTREAM OF THESE FACILITIES TO THE INDIVIDUAL BUILDINGS SHALL BE PRIVATELY OWNED.
- THE BUCKS COUNTY PLANNING COMMISSION IS REVIEWING THIS PROJECT UNDER JOB #11432-B.
- THE PROJECT RECEIVED PRELIMINARY APPROVAL FROM NEW BRITAIN TOWNSHIP B.O.S. ON MARCH 18, 2024.
- THE PROJECT RECEIVED FINAL APPROVAL FROM NEW BRITAIN TOWNSHIP B.O.S. ON JULY 17, 2024 VIA RESOLUTION 2024-10.

ZONING REQUIREMENTS: (J31 PLANNED COMMUNITY CENTER MIXED-USE)

BULK REQUIREMENTS	REQUIRED	PROPOSED
MIN. BASE SITE AREA:	15 ACRES	14.866 AC (1)
UPDATED BASE SITE AREA:		13.37 AC
MAX. RESIDENTIAL SUB-USE:	25% (3.34 AC)	15.6% (2.09 AC)
MIN. COMMON OPEN SPACE:	1/3 RES. SUB-USE (.69 AC)	1.85 AC
BUFFER YARD:	25 FT	45 FT
BUILDING HEIGHT:	35 FT	35 FT

(1) BASE SITE AREA BASED ON PREVIOUSLY APPROVED PLANS WITH VARIANCE GRANTED 4/19/18 PER WAWA SUBDIVISION PLANS PREPARED BY BOHLER ENGINEERING DATED LAST DATED 2019.11.01

CONDITIONAL USE APPLICATION APPROVED BY NEW BRITAIN BOARD OF SUPERVISORS ON JULY 17, 2023:

- CONDITIONAL USE APPROVAL TO PERMIT 44 TOWNHOMES, UNDER THE J31 PCCM - PLANNED COMMUNITY MIXED USE, SUB-USE B5 SINGLE FAMILY ATTACHED.
- A CONDITIONAL USE FOR THE FOLLOWING DEVIATIONS FROM THE PCCM DESIGN REGULATIONS:
  - SIGNAGE: AS PERMITTED BY 27-305.J31.13.e.1.1.(e)(1) APPLICANT IS REQUESTING TO PROVIDE A COMMUNITY IDENTIFICATION SIGN AT EACH ENTRANCE. THIS VIOLATES THE MAXIMUM PERMITTED NUMBER OF SIGNS PER 500 FEET OF STREET FRONTAGE.
  - CONSERVATION EASEMENT DISTURBANCE: APPLICANT IS REQUESTING TO DISTURB ROUGHLY 4,300 SF OF AN EXISTING CONSERVATION EASEMENT ON THE WAWA PARCEL TO PROVIDE ADDITIONAL VEHICULAR AND PEDESTRIAN CIRCULATION BETWEEN PARCELS IN COMBINATION WITH A WATER LINE EASEMENT. MINIMAL IMPACT TO AREAS CLASSIFIED AS WOODLANDS IS EXPECTED.

RECORDER OF DEEDS:

RECORDED IN THE OFFICE FOR THE RECORDING OF DEED IN AND FOR THE COUNTY OF BUCKS, IN DOYLESTOWN, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

PROFESSIONAL ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT TO THE BEST OF MY KNOWLEDGE THIS IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LAND SUBDIVISION REGULATIONS OF THE TOWNSHIP OF NEW BRITAIN.

JEFFREY M. MADDEN  
PA LICENSE NO. PE-070760

DATE

SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT TO THE BEST OF MY KNOWLEDGE THIS IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LAND SUBDIVISION REGULATIONS OF THE TOWNSHIP OF NEW BRITAIN.

THOMAS B. HENDRICKS, P.L.S.  
PA LICENSE NO. SL-044552-E

DATE

ESE CONSULTANTS  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

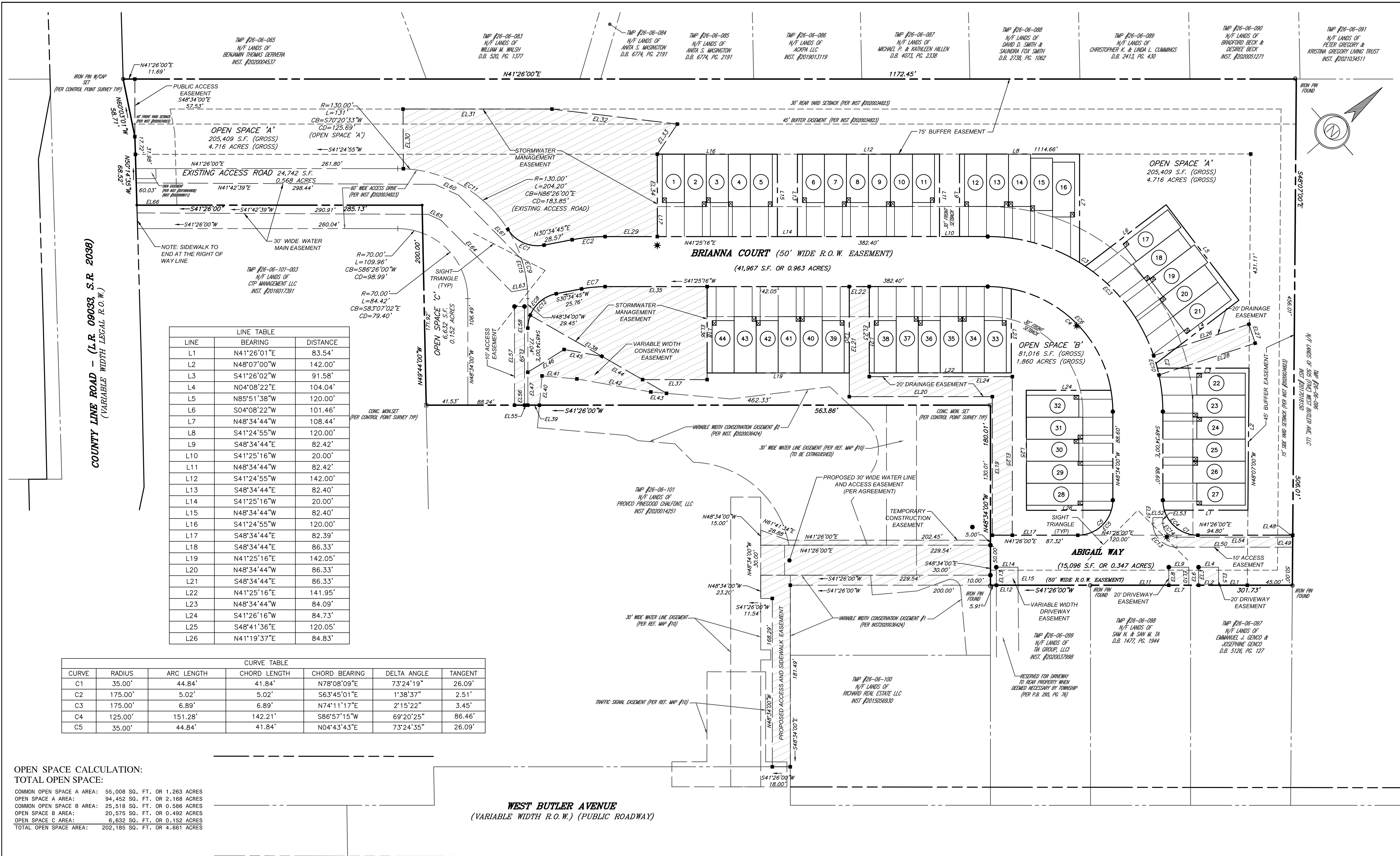
THOMAS B. HENDRICKS  
PROFESSIONAL LAND SURVEYOR  
PA LICENSE NO. SL-044552-E

RECORD PLAN  
(RECORD SHEET 1 OF 3)

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/06/23	SCALE: AS NOTED
DESIGN: JMM	DRAWN: KMS
JOB NO.: 8363	FILE NAME: RP50.01
REF. NO.: RP50.01	
SHEET NO.: 2	OF 43





OPEN SPACE CALCULATION:  
TOTAL OPEN SPACE:  
COMMON OPEN SPACE A AREA: 55,008 SQ. FT. OR 1.263 ACRES  
OPEN SPACE A AREA: 94,452 SQ. FT. OR 2.168 ACRES  
COMMON OPEN SPACE B AREA: 25,518 SQ. FT. OR 0.586 ACRES  
OPEN SPACE B AREA: 20,575 SQ. FT. OR 0.492 ACRES  
OPEN SPACE C AREA: 6,632 SQ. FT. OR 0.152 ACRES  
TOTAL OPEN SPACE AREA: 202,185 SQ. FT. OR 4.661 ACRES

EASEMENT CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
EC1	35.00'	41.95'	39.48'	S64°54'55"W	68°40'20"	23.91'
EC2	175.00'	33.11'	33.07'	S36°00'01"W	10°50'31"	16.61'
EC3	175.00'	274.93'	247.51'	S86°25'38"W	90°00'44"	175.04'
EC4	35.00'	54.98'	49.50'	S86°26'00"W	90°00'00"	35.00'
EC5	35.00'	54.98'	49.50'	S03°34'00"E	90°00'00"	35.00'
EC6	125.00'	196.38'	176.80'	N86°25'38"E	90°00'44"	125.03'
EC7	125.00'	23.65'	23.62'	N36°00'01"E	10°50'31"	11.86'
EC8	35.00'	48.35'	44.59'	N08°59'37"W	79°08'45"	28.93'
EC9	130.00'	73.02'	72.06'	S64°39'27"E	32°10'54"	37.50'
EC10	175.00'	20.04'	20.03'	S63°55'38"E	6°33'36"	10.03'
EC11	130.00'	125.55'	120.73'	N71°35'01"E	55°20'08"	68.16'
EC12	35.25'	35.22'	33.77'	S01°49'33"W	57°14'27"	19.24'
EC13	24.00'	37.70'	33.94'	S86°26'00"W	90°00'00"	24.00'
EC14	14.00'	21.99'	19.80'	N86°26'00"E	90°00'00"	14.00'
EC15	130.00'	30.07'	30.00'	S59°31'29"E	13°15'06"	15.10'

LEGEND:

- MONUMENT TO BE SET
- IRON PIN/PIPE FOUND
- PROPOSED LOT NUMBER
- BUILDING SETBACK LINE
- PROPOSED CENTER LINE
- PROPOSED PROPERTY LINE
- PROPOSED R.O.W.
- OUTBOUND LINE
- PROPOSED EASEMENT
- LIGHT POST
- STREET SIGN
- DO NOT ENTER SIGN
- SPEED LIMIT SIGN
- PEDESTRIAN CROSSING SIGN
- STOP SIGN 30"x30"
- NO PARKING SIGN
- STOP BAR

NOTE:  
EACH UNIT SHALL HAVE NO MORE THAN 3 BEDROOMS AND A MINIMUM OF 2 PARKING SPACES PROVIDED IN THE GARAGE AND/OR DRIVEWAY.

PROPOSED IMPERVIOUS BREAKDOWN	
CREAMERY TIRE	2.03 ACRES
EXISTING WAWA	1.78 ACRES
ADDITIONAL WAWA	0.19 ACRES
TWP #26-06-101-004	
ACCESS ROAD 60' R.O.W. EASEMENT	0.34 ACRES
SIDEWALK - OUTSIDE ACCESS ROAD 60' R.O.W. EASEMENT	.005 ACRES
50' R.O.W. EASEMENT: BRIANNA COURT & ABIGAIL WAY	0.98 ACRES
UNIT BUILDINGS/CONC. PAD/DRIVEWAY/MAILBOX AREA - OUTSIDE 50' R.O.W. EASEMENT	1.78 ACRES*
TOTAL IMPERVIOUS AREA	2.96 ACRES

\*THE STORMWATER MANAGEMENT DESIGN INCLUDES 1.78 AC OF IMPERVIOUS FOR AREAS OUTSIDE OF THE 50' R.O.W. EASEMENT.

NOTE:  
PATIOS AND DECKS SHALL NOT ENCRATCH WITHIN THE 75-FOOT BUFFER YARD.

PARKING REQUIREMENTS:	REQUIREMENT:	REQ.	PROVIDED:
TWP #26-06-101-004	2 SPACES PER DU (3 BDRM)	88	132
USE B5 - SINGLE FAMILY ATTACHED DWELLING	.3 SPACES PER DU	14	14
GUEST PARKING: (44 DU X .3)			

AREA TABULATION - BIRCH RUN AT NEW BRITAIN:

BRIANNA COURT ROW EASEMENT AREA:	41,967 SQ. FT. OR 0.963 ACRES
ABIGAIL WAY ROW EASEMENT AREA:	15,096 SQ. FT. OR 0.347 ACRES
EXISTING ACCESS ROAD AREA:	24,742 SQ. FT. OR 0.568 ACRES
OPEN SPACE A AREA:	205,409 SQ. FT. OR 4.716 ACRES*
OPEN SPACE B AREA:	81,016 SQ. FT. OR 1.860 ACRES**
OPEN SPACE C AREA:	6,632 SQ. FT. OR 0.152 ACRES
TOTAL SITE AREA:	374,802 SQ. FT. OR 8.606 ACRES

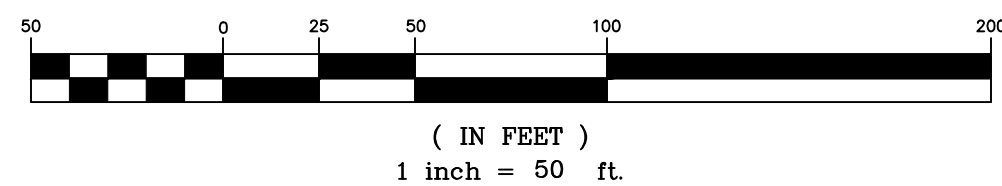
\*OPEN SPACE A INCLUDES:  
LOTS 1 THROUGH 27 AREA: 55,948 SQ. FT. OR 1.285 ACRES(MORE OR LESS).  
COMMON OPEN SPACE AREA: 94,452 SQ. FT. OR 2.168 ACRES.  
OPEN SPACE B INCLUDES:  
LOTS 28 THROUGH 44 AREA: 34,923 SQ. FT. OR 0.802 ACRES(MORE OR LESS).  
COMMON OPEN SPACE AREA: 25,518 SQ. FT. OR 0.586 ACRES.  
OPEN SPACE C AREA: 20,575 SQ. FT. OR 0.492 ACRES.

OWNER OF RECORD  
CTP MANAGEMENT LLC  
4123 CREAMERY ROAD  
CREAMERY, PA 19430  
610-489-2122

EQUITABLE OWNER/APPLICANT  
TOLL MID-ATLANTIC LP COMPANY, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA 19034  
215-938-8000

EASEMENT CURVE TABLE		
LINE	BEARING	DISTANCE
EL1	S41°26'00"W	28.71'
EL2	S41°26'00"W	20.00'
EL3	N48°34'17"W	18.00'
EL4	N41°26'00"E	20.00'
EL5	S48°34'17"E	18.00'
EL6	S41°26'00"W	9.75'
EL7	S41°26'00"W	20.00'
EL8	N48°34'17"W	18.00'
EL9	N41°26'00"E	20.00'
EL10	S48°34'17"E	18.00'
EL11	S41°26'00"W	150.70'
EL12	S41°26'00"W	21.67'
EL13	N48°47'27"W	18.00'
EL14	N41°26'00"E	21.67'
EL15	S48°47'27"E	18.00'
EL17	S41°26'00"W	65.44'
EL18	S41°26'00"W	20.00'
EL19	N48°34'00"W	138.54'
EL20	S41°25'16"W	142.96'
EL21	N48°34'44"W	110.05'
EL22	N41°25'16"E	20.00'
EL23	S48°34'44"E	90.05'
EL24	N41°25'16"E	142.96'
EL25	S48°34'00"E	158.55'
EL26	N23°09'54"E	100.23'
EL27	S66°50'06"E	20.00'
EL28	S23°09'54"W	101.25'
EL29	S41°25'16"W	52.20'
EL30	N48°55'18"W	59.62'
EL31	N41°26'00"E	148.84'
EL32	N48°15'29"E	126.23'
EL33	S14°53'30"E	36.15'
EL34	S48°34'44"E	82.39'
EL35	N41°25'16"E	101.96'
EL36	S48°34'44"E	92.99'
EL37	S41°25'16"W	64.49'
EL38	S71°14'47"W	129.45'
EL39	N41°26'00"E	11.60'
EL40	N43°34'00"W	29.39'
EL41	N46°26'00"E	35.00'
EL42	N51°26'00"E	75.00'
EL43	N46°26'00"E	15.78'
EL44	S71°14'47"W	74.43'
EL45	S51°41'16"W	38.40'
EL46	S09°18'52"W	42.80'
EL47	S48°34'00"E	32.92'
EL48	S48°07'00"E	2.00'
EL49	S48°07'00"E	10.00'
EL50	S41°26'00"W	115.71'
EL51	N48°34'00"W	5.60'
EL52	N41°26'00"E	10.00'
EL53	S48°34'00"E	5.60'
EL54	N41°26'00"E	115.79'
EL55	S41°26'00"W	3.29'
EL56	S41°26'00"W	10.00'
EL57	N48°34'00"W	98.61'
EL58	N41°26'00"E	10.00'
EL59	S48°34'00"E	98.61'
EL60	N66°09'24"E	26.09'
EL61	N86°50'04"E	89.98'
EL63	S30°35'04"W	16.09'
EL64	S86°50'04"W	100.54'
EL65	S66°09'24"W	14.11'
EL66	N50°14'35"W	30.02'

GRAPHIC SCALE



ESE CONSULTANTS  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

THOMAS B. HENDRICKS  
PROFESSIONAL LAND SURVEYOR  
PA LICENSE NO. SU-04452-E

ESE Consultants, Inc.  
1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

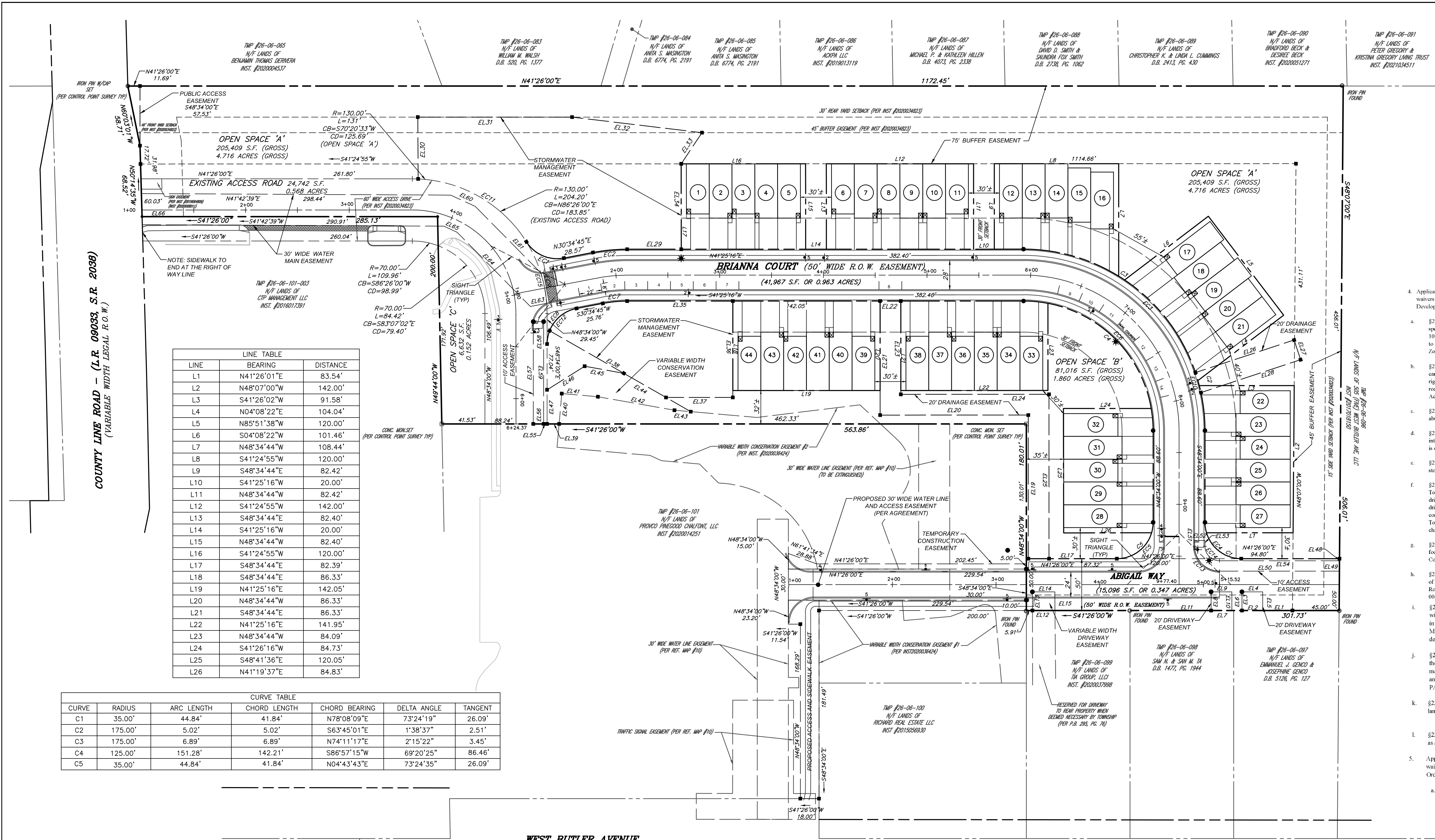
REV.	DATE	DESCRIPTION
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/05/24	REVISIONS PER TOWNSHIP COMMENTS
3	09/03/24	REVISIONS PER TOWNSHIP COMMENTS
4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS

RECORD PLANS  
(RECORD SHEET 2 OF 3)

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:	10/06/23	SCALE:	1"=50'
DESIGN:	JMM	DRAWN:	KMS
JOB NO.:	8363	FILE NAME:	RP50.02
SHEET NO.:	3	OF	43





OWNER OF RECORD

CTP MANAGEMENT LLC  
4123 CREAMERY ROAD  
CREAMERY, PA 19430  
610-489-2122

EQUITABLE OWNER/APPLICANT

TOLL MID-ATLANTIC LP COMPANY, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA 19034  
215-938-8000

WAIVER LIST

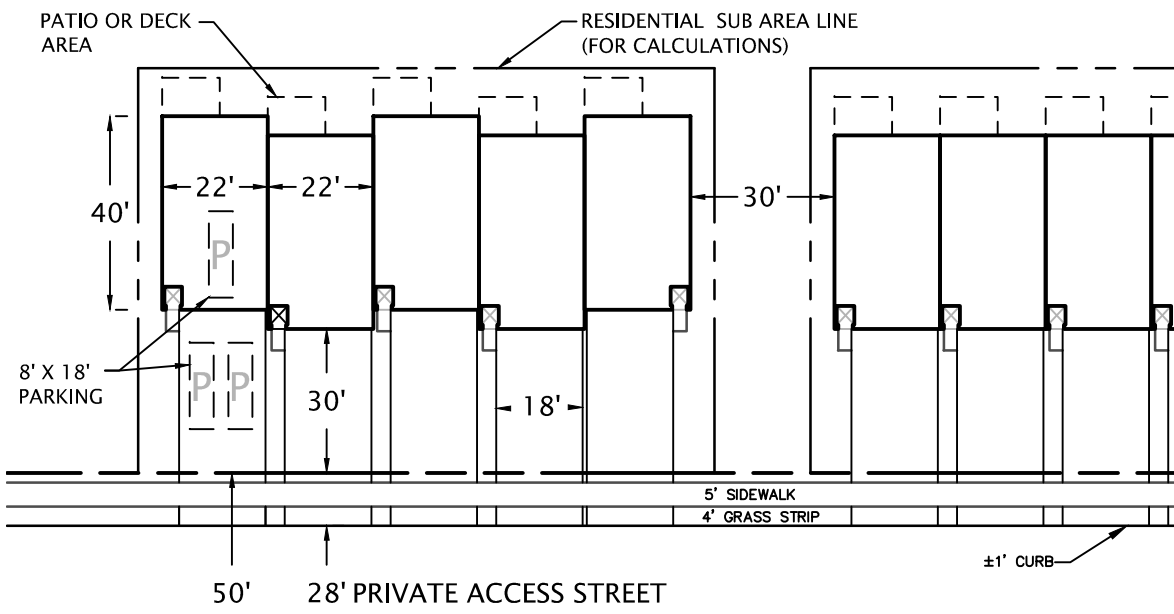
4. Applicant has requested, and the Board of Supervisors does hereby Grant waivers from the following provisions of the Subdivision and Land Development Ordinance:
- a. §22-502.1.D(8)(a) - From the requirement to show the location, size and species of individual, existing trees six inches in diameter or greater within 100 feet of the tract boundary conditioned on any existing trees being shown to meet the buffer requirements as required by Section 27-2803.a of the Zoning Ordinance.
  - b. §22-705.3.A & 706.2.A - To allow a 30-foot right-of-way and 24-foot cartway on Road 'B' Abigail Way with sidewalk along one side. The reduced right-of-way and roadway widths and sidewalk on one side will allow the roadway to be located within the existing 30-foot-wide Water Line and Access Easement. No parking shall be permitted along this street.
  - c. §22-705.3.G - From providing a mill and overlay of the existing streets that abuts the subdivision.
  - d. §22-705.4.C - To allow Road 'A' Brianna Court to be 420 feet from the intersection with the internal access road, where 500 feet is required, which is consistent with the approved Conditional Use Plan.
  - e. §22-705.13.C - From the requirement for driveways to provide a 20-foot stopping area at 3% from the edge of the cartway.
  - f. §22-705.13.D - From installing driveways in accordance with the Township's Driveway Standard. The Applicant proposes 18-foot-wide driveways with a 2-foot Belgian block curb transition where a 12-foot driveway is required with a minimum 10-foot radius. A driveway construction detail shall be added to clarify the intent if different from the Township standards. A waiver also permits the driveway apron to exceed a change in grade of 6% and a slope of 8%.
  - g. §22-705.13.J - From the requirement to provide a minimum 10-foot by 20-foot driveway turnaround area, which is consistent with the approved Conditional Use Plan.
  - h. §22-706.2.B - From the requirement to install sidewalk along the frontage of County Line Road conditioned on providing a walkway to County Line Road and a public access easement along County Line Road over TMP 26-006-101-004 for future sidewalk.
  - i. §22-712.4.E - From the requirement that basins return to normal conditions within 12 hours after the storm. The Stormwater Report indicates the volume in the basin will be infiltrated between 48 and 72 hours as required for Managed Release basins. This waiver is conditioned upon approval of the design by PADEP.
  - j. §22-712.4.J - From the requirement that detention basins be sloped towards the outlet structure a minimum slope of 2%. The plan is designed using the managed release concept recommended by PADEP and uses a flat basin with an underdrain. This waiver is conditioned upon approval of the design by PADEP.
  - k. §22-722.4.C(7) - To allow substitutions for certain buffering and landscaping as approved by the Township Engineer.
1. §22-722.4.E - To allow a substitution for the proposed street light standard as approved by the Township Engineer.
5. Applicant has requested, and the Board of Supervisors does hereby Grant a waiver from the following provision of the Stormwater Management Ordinance:
- a. §26-121.11 - From the requirement that storage facilities drain both the volume and rate control capacity over not more than 72 hours from the end of the design storm. A managed release concept is proposed which slowly releases the runoff over an extended period to mimic infiltration may be used so long as the design is approved by PADEP.

OPEN SPACE CALCULATION:  
TOTAL OPEN SPACE:

COMMON OPEN SPACE A AREA: 55,009 SQ. FT. OR 1.263 ACRES  
OPEN SPACE A AREA: 94,452 SQ. FT. OR 2.168 ACRES  
COMMON OPEN SPACE B AREA: 25,518 SQ. FT. OR 0.586 ACRES  
OPEN SPACE B AREA: 20,575 SQ. FT. OR 0.492 ACRES  
OPEN SPACE C AREA: 6,632 SQ. FT. OR 0.152 ACRES  
TOTAL OPEN SPACE AREA: 202,185 SQ. FT. OR 4.661 ACRES

IMPERVIOUS LOT AREA CHART

LOT	ALLOWABLE IMPERVIOUS AREA	LOT	ALLOWABLE IMPERVIOUS AREA
LOT 1	1,694 sf	LOT 23	1,714 sf
LOT 2	1,710 sf	LOT 24	1,693 sf
LOT 3	1,694 sf	LOT 25	1,710 sf
LOT 4	1,710 sf	LOT 26	1,710 sf
LOT 5	1,710 sf	LOT 27	1,693 sf
LOT 6	1,694 sf	LOT 28	1,798 sf
LOT 7	1,710 sf	LOT 29	1,798 sf
LOT 8	1,693 sf	LOT 30	1,782 sf
LOT 9	1,710 sf	LOT 31	1,798 sf
LOT 10	1,710 sf	LOT 32	1,779 sf
LOT 11	1,694 sf	LOT 33	1,778 sf
LOT 12	1,710 sf	LOT 34	1,798 sf
LOT 13	1,714 sf	LOT 35	1,798 sf
LOT 14	1,771 sf	LOT 36	1,782 sf
LOT 15	1,804 sf	LOT 37	1,798 sf
LOT 16	1,872 sf	LOT 38	1,782 sf
LOT 17	1,944 sf	LOT 39	1,782 sf
LOT 18	1,820 sf	LOT 40	1,798 sf
LOT 19	1,873 sf	LOT 41	1,798 sf
LOT 20	1,838 sf	LOT 42	1,782 sf
LOT 21	1,909 sf	LOT 43	1,798 sf
LOT 22	1,728 sf	LOT 44	1,782 sf



TYPICAL TOWNHOME DIMENSIONS

SCALE: 1"=40'

LEGEND:

- MONUMENT TO BE SET
- MONUMENT FOUND
- IRON PIN/PIPE FOUND
- PROPOSED LOT NUMBER
- BUILDING SETBACK LINE
- PROPOSED CENTER LINE
- PROPOSED PROPERTY LINE
- PROPOSED R.O.W.
- OUTBOUND LINE
- PROPOSED EASEMENT
- LIGHT POST
- STREET SIGN
- DO NOT ENTER SIGN
- SPEED LIMIT SIGN
- PEDESTRIAN CROSSING SIGN
- STOP SIGN 30"x30"
- NO PARKING SIGN
- STOP BAR

AREA TABULATION - BIRCH RUN AT NEW BRITAIN:

BRIANNA COURT ROW EASEMENT AREA: 41,967 SQ. FT. OR 0.963 ACRES  
ABIGAIL WAY ROW EASEMENT AREA: 15,096 SQ. FT. OR 0.347 ACRES  
EXISTING ACCESS ROAD AREA: 24,742 SQ. FT. OR 0.568 ACRES  
OPEN SPACE A AREA: 205,409 SQ. FT. OR 4.716 ACRES\*\*  
OPEN SPACE B AREA: 81,016 SQ. FT. OR 1.860 ACRES\*\*  
OPEN SPACE C AREA: 6,632 SQ. FT. OR 0.152 ACRES  
TOTAL SITE AREA: 374,862 SQ. FT. OR 8.606 ACRES

\*OPEN SPACE A INCLUDES:  
LOTS 1 THROUGH 27 AREA: 55,949 SQ. FT. OR 1.285 ACRES(MORE OR LESS).  
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COMMON OPEN SPACE AREA: 25,518 SQ. FT. OR 0.586 ACRES.  
OPEN SPACE AREA: 20,575 SQ. FT. OR 0.492 ACRES.

GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.

DIMENSIONAL RECORD PLAN  
(RECORD SHEET 3 OF 3)

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 01/19/24

SCALE: 1"=50'

DESIGN: JMM

DRAWN: KMS

JOB NO.: 8363

FILE NAME: RP50.03

REF. NO.:

RP50.03

SHEET NO.: 3A

OF 43

ESE CONSULTANTS  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
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THOMAS B. HENDRICKS  
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PA LICENSE NO. SU-044552-E



N:\PROJECTS\PENNSYLVANIA\8363--NEW BRITAIN CIP\ENG\EPT\DRAWINGS\8363--S-02--NOTES.DWG--Jeff Madden--12/3/2024 12:51 PM

GENERAL NOTES:

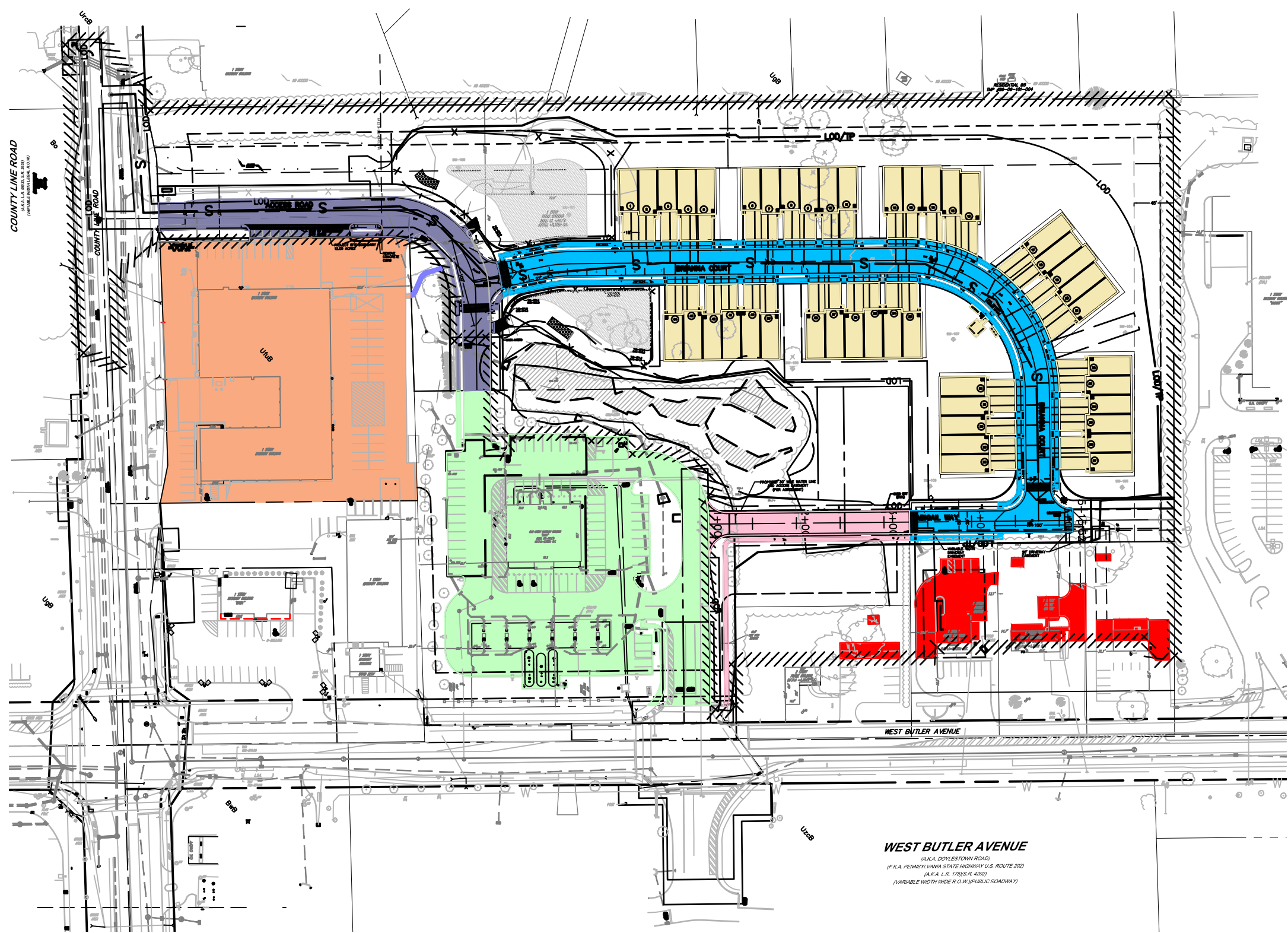
- DESIGN ENGINEER, SURVEYOR, PLANNER, LANDSCAPE ARCHITECT:  
ESE CONSULTANTS, INC.  
1140 VIRGINIA DRIVE  
FORT WASHINGTON, PA. 19034  
215/914-2050
- WETLANDS CONSULTANT:  
GTA  
2405 JOHN FRIES HIGHWAY  
QUAKERTOWN, PA. 18951  
215/536-8363
- WETLAND PRELIMINARY JURISDICTION DETERMINATION WAS OBTAINED ON SEPTEMBER 1, 2022 (NAP--2022-00532--45).
- SITE DOES NOT CONTAIN FLOODPLAIN AS SHOWN ON THE PLAN HAS BEEN TAKEN FROM THE FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 42017C028BK, EFFECTIVE DATE MARCH 21, 2017.
- SOILS SHOWN WERE TAKEN FROM "SOIL SURVEY, MONTGOMERY COUNTY, PENNSYLVANIA", PREPARED BY THE NATURAL RESOURCE CONSERVATION SURVEY, DATED NOVEMBER 22, 2021.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NEW BRITAIN TOWNSHIP CODES, SPECIFICATIONS AND THE ENGINEERING AND CONSTRUCTION STANDARDS.
- THESE PLANS WERE PREPARED PER THE NEW BRITAIN TOWNSHIP, STORMWATER MANAGEMENT ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE ZONING AND PLANNED RESIDENTIAL DEVELOPMENT ORDINANCE, AS LAST AMENDED.
- FURTHER SUBDIVISION OF ANY OF THE LOTS, BOTH PRIVATE LOTS AND OPEN SPACE LOTS IN THIS SUBDIVISION IS PROHIBITED.
- THE PROPOSED ROADS WILL BE IN AN EASEMENT. ROADS TO BE BUILT TO TOWNSHIP STANDARDS. THE HOA WILL MAINTAIN STORM SEWER, SIDEWALK, CURBING AND ROADS WITHIN THE EASEMENT.
- STATE OR TOWNSHIP ROAD OCCUPANCY PERMITS, AS APPLICABLE, TO BE OBTAINED AS NECESSARY.
- PROPOSED LOTS TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- EACH UNIT (WITH OPTIONS AND DRIVEWAY) WILL BE LIMITED TO THE TOTAL IMPERVIOUS AREA LISTED IN THE CHART LOCATED ON SHEET 3A.
- TRASH COLLECTION AREAS SHALL BE LOCATED TO THE REAR OF THE BUILDING OR IN THE GARAGE AND SHIELDED FROM ADJACENT PROPERTIES AND ALL STREETS.
- GRADING:
  - ALL DISTURBED LAND WITHIN A DEVELOPMENT SHALL BE GRADED AT A MINIMUM SLOPE OF 2% TO PROVIDE PROPER DRAINAGE AND DISPOSE OF STORMWATER RUNOFF WITHOUT PONDING.
  - GRADING AROUND BUILDINGS CONSTRUCTED OF WOOD SHALL HAVE A MINIMUM SEPRATION OF EIGHT INCHES BETWEEN THE TOP OF FOUNDATION WALL AND THE OUTSIDE FINISHED GRADE ELEVATION.
- DRIVEWAYS:
  - DRIVEWAYS SHALL BE LOCATED AT LEAST 40 FEET FROM STREET INTERSECTIONS, MEASURED FROM THE CENTER LINE OF THE DRIVEWAY TO THE POINT OF INTERSECTION OF THE STREET ULTIMATE RIGHT-OF-WAY LINES (EXTENDED).
  - DRIVEWAYS SHALL BE LIMITED TO ONLY EXCEED 8% SLOPE AND/OR EXCEED A 6% CHANGE IN SLOPE WITHIN THE DRIVEWAY APRON.
- NOTHING SHALL BE PERMITTED TO BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF A UTILITY EASEMENT EXCEPT LAWNS, LOW GROUND COVER, OR OTHER LANDSCAPING THAT WILL NOT ADVERSELY AFFECT THE UTILITY OR THE EASEMENT.
- SIGHT TRIANGLE:
  - WITHIN THE AREA OF CLEAR SIGHT TRIANGLES, OBSTRUCTIONS TO VISIBILITY SHALL NOT BE PERMITTED WITHIN THE RANGES OF HEIGHT BETWEEN TWO FEET AND SEVEN FEET ABOVE THE EDGE OF PAVING. ANY PLANT MATERIALS PLACED WITHIN CLEAR SIGHT TRIANGLES SHALL BE PROPERLY MAINTAINED TO CONTINUALLY COMPLY WITH THE HEIGHT RESTRICTIONS HEREIN. THE SIGHT PLAN SHALL CONTAIN A NOTATION STATING THAT THE APPLICANT IS REQUIRED TO MAINTAIN THE AREA OF THE CLEAR SIGHT TRIANGLE, AND THE TOWNSHIP HAS THE RIGHT TO ENTER THE AREA AND PERFORM MAINTENANCE IF DEEMED CRITICAL TO PUBLIC WELFARE PURSUANT TO A DECLARATION OF CONVENANTS. RESTRICTIONS AND CONDITIONS APPROVED BY THE BOARD.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS, HEREBY RESERVES THE RIGHT TO ENTER UPON EACH AND EVERY LOT AND AREA OF THE SUBDIVISION/DEVELOPMENT DEPICTED HEREON, WHETHER PRIOR OR SUBSEQUENT TO CONVEYANCE OF ANY LOT, UNTIL EXPIRATION OF THE STATUTORY MAINTENANCE PERIOD FOLLOWING DEDICATION OF PUBLIC IMPROVEMENTS AS SET FORTH AT SECTION 509 OF THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, AS AMENDED, 53 P.S. 10509, FOR THE PURPOSE OF COMPLETING ANY LANDSCAPING AS REQUIRED BY THE MUNICIPALITY AND FURTHER TO MAKE SUCH MODIFICATIONS IN GRADING AND/OR DRAINAGE IMPROVEMENTS ON ANY LOT AS MAY BE NECESSARY IN THE DISCRETION OF THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS AND/OR THE TOWNSHIP ENGINEER FOR SATISFACTORY STORM WATER MANAGEMENT.
- THE APPLICANT/OWNER OF THIS PROPERTY ACKNOWLEDGES THE REQUIREMENT TO COMPLY WITH ALL STATE AND FEDERAL REGULATIONS REGARDING THE DISTURBANCE OF WETLANDS. ANY IMPROVEMENTS WHICH CANNOT BE COMPLETED AS SHOWN SHALL BE AMENDED TO THE SATISFACTION OF THE TOWNSHIP AND SHALL BE DEPICTED ON REVISED PLANS WHICH SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW. THE APPLICANT/OWNER OF THIS PROPERTY ACCEPTS ALL RESPONSIBILITY WITH RESPECT TO STATE AND FEDERAL REGULATIONS.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS PROVIDED IN THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OR OTHER SPECIFICATIONS OF THE TOWNSHIP. THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, PENNDOT PUBLICATION 408, AS AMENDED, AND THE PENNDOT ROAD CONSTRUCTION STANDARDS, AS AMENDED, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR THE AUTHORITY HAVING JURISDICTION OVER SAID IMPROVEMENTS.
- AN NPDES PERMIT IS REQUIRED FOR THIS PROJECT FROM THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE SPEED LIMIT WITHIN THIS DEVELOPMENT IS TO BE POSTED AT 25 M.P.H.
- THE APPLICANT RESERVES THE RIGHT TO CONSTRUCT LANDSCAPE TOPSOIL BERMS WITHIN OPEN SPACE AND BUFFER YARDS.
- STORM SEWERS:
  - ALL INLETS TO BE TYPE AS NOTED.
  - DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS FOR ALL STRUCTURES.
  - PIPES THROUGH BASIN EMBANKMENTS SHALL BE O-RING GASKETED PIPE WITH ANTI-SEEP COLLARS. ALL JOINTS SHALL BE MORTARED.
  - A MINIMUM OF 24" OF COVER OVER THE BELL OF PIPE IS PROPOSED.
  - STORMWATER ROOF DRAINS AND SUMP PUMPS SHALL DISCHARGE TO LAWNS, MULCH BEDS, GRASSED SWALES, OR UNDERGROUND WATER QUALITY BMPs AND NOT TO PAVED IMPERVIOUS SURFACES AND SHALL NOT CONNECT DIRECTLY TO A STORM SEWER SYSTEM W/O PRIOR APPROVAL FROM THE TOWNSHIP ENGINEER.
  - STORM SEWERS, AS REQUIRED, SHALL BE PLACED UNDER OR IMMEDIATELY IN FRONT OF THE CURB, WHEN PARALLEL TO A PUBLIC STREET AND WITHIN THE RIGHT-OF-WAY. WHEN LOCATED IN UNDEDICATED LAND, THEY SHALL BE PLACED WITHIN AN EASEMENT NOT LESS THAN TWENTY (20) FEET WIDE AS APPROVED BY THE TOWNSHIP ENGINEER.
  - STORM SEWERS SHALL HAVE A MINIMUM DIAMETER OF FIFTEEN (15) INCHES, AND SHALL BE GASKETED REINFORCED CONCRETE PIPE OR GASKETED SMOOTH LINED CORRUGATED HIGH DENSITY POLYETHYLENE PIPE. MINIMUM GRADE SHALL BE ONE HALF PERCENT (0.5%). CHANGES IN ALIGNMENT SHALL BE BY STRAIGHT SECTIONS CONNECTED BY INLETS OR MANHOLES.
  - MANHOLES SHALL BE NOT MORE THAN THREE HUNDRED (300) FEET APART FOR PIPE DIAMETER UP TO TWENTY-FOUR (24) INCHES, AND NOT MORE THAN FOUR HUNDRED AND FIFTY (450) FEET APART FOR GREATER DIAMETERS. INLETS MAY BE SUBSTITUTED FOR MANHOLES UPON APPROVAL BY THE TOWNSHIP ENGINEER.
  - INLETS, MANHOLES, COVERS, AND FRAMES SHALL CONFORM TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
  - A TYPE 'DW' ENDWALL SHALL BE PROVIDED AT THE TERMINATION OF ALL STORM SEWER SYSTEMS, UNLESS CONDITIONS WARRANT AN ALTERNATE TYPE. PLANS WITH ALTERNATE TYPE PIPE CONNECTIONS SHALL BE PROVIDED TO THE TOWNSHIP FOR REVIEW BEFORE INSTALLATION.
- SANITARY SEWER:
  - SANITARY SEWERS SHALL BE DESIGNED AND CONSTRUCTED IN STRICT ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL RESOURCES STANDARDS AND CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE AUTHORITY (CNBSJA) SPECIFICATIONS.
  - SANITARY SEWERS SHALL NOT BE USED TO CARRY STORMWATER.
  - REQUIREMENTS NOT REFERENCED IN THIS DOCUMENT SHALL BE REFERRED TO THE PENNSYLVANIA DEP SEWERAGE MANUAL, LATEST EDITION.
  - SHOP DRAWINGS MUST BE SUBMITTED TO AND APPROVED BY THE CNBSJA FOR ALL MATERIALS, STRUCTURES, EQUIPMENT, PIPING AND APPURTENANCES PRIOR TO ORDERING ANY OF THESE ITEMS.
  - ALL SEWER WORK MUST BE REVIEWED BY THE CNBSJA AS THE INSTALLATION PROGRESSES. WORK PERFORMED WITHOUT SUCH INSPECTION IS SUBJECT TO REJECTION. A MINIMUM OF 48 HOURS ADVANCE NOTICE TO THE CNBSJA IS REQUIRED.
  - ALL SANITARY SEWER PIPING MUST BE TESTED IN THE PRESENCE OF THE CNBSJA USING THE CNBSJA STANDARD PROCEDURES. A MINIMUM OF 48 HOURS ADVANCE NOTICE TO THE CNBSJA IS REQUIRED.
  - THE CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWER AUTHORITY IS TO BE CONTACTED ONE WEEK PRIOR TO SANITARY SEWER CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATING NEAR OR CONNECTING INTO ANY EXISTING SEWER FACILITIES.
  - CLEANOUTS SHALL BE PROVIDED FOR ALL SANITARY LATERALS AT THE EDGE OF THE RIGHT-OF-WAY AND AT ALL MAJOR CHANGES IN DIRECTION. ALL LATERALS SHOULD BE PROVIDED WITH MINIMUM TWO PERCENT (2%) SLOPE BETWEEN THE SEWER MAIN AND FIRST CLEANOUT. CLEANOUTS SHOULD BE CUT TO SIX INCHES ABOVE FINISHED GRADE AND PROVIDED WITH A RECESSED TYPE PLUG. CLEANOUTS WITHIN PAVED AREAS OR WITHIN THREE FEET OF PAVED AREAS SHOULD BE PROVIDED WITH A CLEANOUT PROTECTION SLEEVE.
  - MANHOLES SHALL BE LOCATED AT INTERVALS OF 300 FEET AND AT EACH CHANGE OF LINE OR GRADE. IN EXCEPTIONAL CASES, THE INTERVAL MAY BE EXTENDED TO NOT MORE THAN 300 FEET.
  - TEN FEET OF HORIZONTAL CLEARANCE OR 18 ONCHES OF VERTICAL CLEARANCE SHOULD BE PROVIDED BETWEEN THE SANITARY SEWER AND ALL OTHER UTILITIES. OTHERWISE, CONCRETE ENCASEMENT OF THE SANITARY SEWER SHOULD BE PROVIDED.
  - PIPE MATERIAL TO BE P.V.C..
  - TESTING THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH THE STANDARDS OF THE CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE AUTHORITY AND SHALL BE APPROVED BY THE TOWNSHIP ENGINEER BEFORE BUILDINGS ARE PERMITTED TO BE CONNECTED TO THE LATERALS.

- WATER SERVICE:
  - ALL WATER FACILITIES WITHIN THIS DEVELOPMENT, INCLUDING THE WATER MAIN AND WATER SERVICE PIPING UP TO AND INCLUDING ISOLATION VALVES AND FIRE HYDRANTS, SHALL BE OFFERED FOR DEDICATION TO THE NORTH WALES WATER AUTHORITY. ALL WATER PIPING AND ASSOCIATED APPURTENANCES DOWNSTREAM OF THESE FACILITIES TO THE INDIVIDUAL BUILDINGS SHALL BE PRIVATELY OWNED.
  - ALL WATER FACILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH NORTH WALES WATER AUTHORITY STANDARD SPECIFICATIONS.
  - A MINIMUM OF 4 FEET OF COVER SHALL BE PROVIDED OVER THE WATER MAINS, OR AT GREATER DEPTHS WHERE INDICATED ON THE UTILITY PROFILE.
  - ALL WATER MAIN AND FIRE SERVICE LINES SHALL BE CLASS 52 DIP.
  - A MINIMUM OF 5 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN THE WATER MAIN AND ALL PARALLEL UTILITY LINES, PLANTINGS OR STRUCTURES.
  - A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE PROVIDED WHERE A WATER MAIN CROSSES ANOTHER UTILITY.
  - ALL WATER MAIN FITTINGS SHALL HAVE MEGALUG RESTRAINED JOINTS AND CONCRETE ANCHORAGE.
  - WATER MAINS MUST BE SURVEY STAKED AT FIFTY (50) FOOT INTERVALS ALONG STRAIGHT RUNS AT TWENTY-FIVE (25) FOOT INTERVALS ALONG CURVES, AND AT ALL HORIZONTAL AND VERTICAL FITTINGS. SURVEY STAKES MUST BE CLEARLY INSCRIBED WITH THE STATION POINTS, TOP OF FINAL GRADE, AND, WHEN APPLICABLE, FACE OF CURB. WHEN PIPELINE LOCATION IS USED FOR PLACEMENT OF SURVEY STAKES, THE STAKES SHALL BE OFFSET A MINIMUM OF TEN (10) FEET AND A MAXIMUM OF TWENTY (20) FEET FROM THE PIPELINE SO AS NOT TO INTERFERE WITH THE INSTALLATION OF THE PIPE.
  - ALL WATER SERVICE CONNECTIONS, WATER MAIN CONNECTIONS AND SERVICE DISRUPTIONS REQUIRED FOR CONSTRUCTIONS OF THE NEW WATER FACILITIES WITHIN THIS DEVELOPMENT MUST BE COORDINATED WITH NORTH WALES WATER AUTHORITY. THE AUTHORITY MAY REQUIRE SOME OF ALL OF THESE CONNECTIONS AND DISRUPTIONS TO OCCUR OUTSIDE OF REGULAR WORKING HOURS, THE SPECIFIC HOURS DURING WHICH THESE CONNECTIONS OR DISRUPTIONS ARE TO BE MADE WILL BE DIRECTED BY THE AUTHORITY AND THE WORK SHALL BE COMPLETED AT NO ADDITIONAL COST TO THE AUTHORITY.
  - PROVIDE PIPE JOINT RESTRAINT AS FOLLOWS:
    - 12-INCH PIPE: WITHIN 75 FEET OF ALL HORIZONTAL AND VERTICAL FITTINGS AND WITHIN 90 FEET OF ALL GATE VALVES AND DEAD ENDS.
    - 8-INCH PIPE: WITHIN 50 FEET OF ALL HORIZONTAL AND VERTICAL FITTINGS AND WITHIN 65 FEET OF ALL GATE VALVES AND DEAD ENDS.
    - 6-INCH PIPE: WITHIN 40 FEET OF ALL HORIZONTAL AND VERTICAL FITTINGS AND WITHIN 50 FEET OF ALL GATE VALVES AND DEAD ENDS.
  - WHEN CURB STOPS ARE LESS THAN 3-FT FROM THE DRIVEWAY, CURB BOXES MUST BE RECESSED WITHIN A VALVE BOX RESTING ON A CONCRETE COLLAR. THE TOP OF THE CURB BOX SHALL BE SET BELOW THE BOTTOM OF THE VALVE BOX LID WITH A GAP.
- ALL OTHER UTILITY LINES INCLUDING, BUT NOT LIMITED TO ELECTRIC, GAS, STREET LIGHT SUPPLY, CABLE TELEVISION, AND TELEPHONE SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP AND PUBLIC UTILITY CONSTRUCTION.
- IN ACCORDANCE WITH THE PROVISIONS OF ACT 287, ALL DEVELOPERS, CONTRACTORS, ETC., WILL CONTACT ALL APPLICABLE UTILITIES AND ACCURATELY DETERMINE THE LOCATIONS AND DEPTH OF ALL UNDERGROUND UTILITIES WITHIN THE BOUNDARIES OF THE TRACT PROPOSED FOR DEVELOPMENT. PRIOR TO EXCAVATION, A LIST OF THE APPLICABLE UTILITIES AND THEIR PHONE NUMBERS SHALL APPEAR ON THE PLANS SUBMITTED FOR REVIEW AND PROOF SHALL BE PRESENTED TO THE TOWNSHIP PRIOR TO FINAL PLAN APPROVAL.
- IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN, OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN, UNLESS AN EXCEPTION IS GRANTED IN WRITING BY THE TOWNSHIP.
- HOME OWNERS ASSOCIATION:
  - THE HOMEOWNERS ASSOCIATION MAY NOT BE DISSOLVED, NOR MAY IT DISPOSE OF THE OPEN SPACE BY SALE OR OTHERWISE, WITHOUT FIRST OFFERING TO DEDICATE THE SAME TO THE TOWNSHIP AT NO COST.
  - THE HOMEOWNERS ASSOCIATION DOCUMENTS WILL CONTAIN AN OPEN SPACE MANAGEMENT PLAN TO PROTECT THE SIGNIFICANT NATURAL FEATURES OF THE PROPERTY.
  - THE HOMEOWNERS ASSOCIATION DOCUMENTS SHALL BE SUBMITTED FOR REVIEW BY THE TOWNSHIP SOLICITOR AS PART OF THE FINAL SUBDIVISION AND LAND DEVELOPMENT APPROVAL.
  - THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ENTRANCE SIGN, DECORATIVE WALLS, FENCES OR LANDSCAPE ASSOCIATED WITH THEM.
- EASEMENTS SHALL BE ESTABLISHED IN CONNECTION WITH ANY REGULATED ACTIVITY FOR ALL PERMANENT BMP'S AND CONVEYANCES THAT WILL NOT BE DEDICATED TO OR OTHERWISE OWNED BY THE MUNIOPALITY, (INCLUDING ANY TO BE LOCATED ON ANY PROPERTY OTHER THAN THE PROPERTY BEING DEVELOPED BY THE APPLICANT), AND SHALL:
  - INCLUDE ALL LAND AREA OCCUPIED BY EACH BMP OR CONVEYANCE;
  - INCLUDE A TEN (10)-FOOT WIDE PERIMETER (OR OTHER WIDTH AS DETERMINED IN CONSULTATION WITH THE MUNICIPAL ENGINEER) SURROUNDING THE FEATURE(S);
  - PROVIDE SUFFICIENT VEHICULAR INGRESS AND EGRESS FROM A PUBLIC RIGHT-OF-WAY AND ROADWAY;
  - GRANT THE MUNICIPALITY THE RIGHT, BUT NOT THE DUTY, TO ACCESS EVERY BMP AND CONVEYANCE FROM A PUBLIC RIGHT-OF-WAY OR PUBLIC ROADWAY TO CONDUCT PERIODIC INSPECTIONS AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THIS ORDINANCE, OR OF ANY APPLICABLE O&M PLAN OR O&M AGREEMENT WHERE ROADWAYS WILL NOT BE DEDICATED TO THE MUNICIPALITY; THE MUNICIPALITY SHALL BE GRANTED ACCESS TO THE PRIVATE ROADWAYS AS NECESSARY TO ACCESS EVERY BMP AND CONVEYANCE;
  - GRANT THE OWNER OF EACH BMP AND CONVEYANCE THE RIGHT TO ACCESS, INSPECT, OPERATE, MAINTAIN, AND REPAIR THE BMP OR CONVEYANCE WHEN THE FEATURE IS TO BE OWNED, OPERATED AND MAINTAINED BY A PERSON OTHER THAN THE MUNICIPALITY AND OTHER THAN THE OWNER OF THE PARCEL ON WHICH IT IS LOCATED;
  - LAWN--NO TREES, FENCES, SIGNS, STRUCTURES OF ANY TYPE OR ANY OTHER OBSTRUCTION SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT. THE AREA SHALL BE KEPT AS LAWN.
- THE APPLICANT/DEVELOPER SHALL PROMPTLY GRADE AND STABILIZE SLOPES AND OPEN DITCHES AND PROVIDE CONSTRUCTION FENCING WHEN DEEMED NECESSARY BY THE TOWNSHIP ENGINEER.
- REMAINING AREAS DESIGNED AS OPEN SPACE WILL BE USED FOR ACTIVE AND PASSIVE OPEN SPACE ONLY.
- ALL EXISTING STRUCTURES AND UTILITIES TO BE REMOVED UNLESS OTHERWISE NOTED.
- SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE WITH A MINIMUM TWENTY-EIGHT (28) DAY STRENGTH OF 4000 PS W/AIR, WITH A MINIMUM WIDTH OF FIVE (5) FEET AND A THICKNESS OF FOUR (4) INCHES EXCEPT AT DRIVEWAY CROSSINGS WHEN THE SIDEWALK THICKNESS SHALL BE INCREASED TO SIX (6) INCHES WITH REINFORCEMENT.
- LIGHTING:
  - ALL PERMITTED LIGHTING AND ALL EXTERNAL LIGHTING FIXTURES APPURTENANT TO A STRUCTURE SHALL BE SHIELDED FROM ALL RESIDENTIAL PROPERTIES AND FROM ALL ROWs SO AS TO ELIMINATE LIGHT GLARE BEYOND AN ANGLE OF THIRTY-FIVE (35) DEGREES FROM A VERTICAL PLANE.
- TRAFFIC NOTES:
  - ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSION OF PENNDOT PUBLICATION 236M, "HANDBOOK OF APPROVED SIGNS".
  - TRAFFIC CONTROL SIGNS MUST BE POSTED ON PENNDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE TC-8700 SERIES N. PENNDOT PUBLICATION 111M.
  - ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING STANDARDS:
    - PENNDOT DESIGN MANUAL 2, CHAPTER 6.
    - PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M, RC-67M.
    - U.S. ACCESS BOARD, PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG).
- OBSTRUCTIONS IN RIGHT-OF-WAY -- NO FENCES, HEDGES, TREES, SHRUBBERY, PLANTS, WALLS, SIGNS OR OTHER OBSTRUCTIONS SHALL BE LOCATED OR BE PERMITTED WITHIN THE RIGHT-OF-WAY.
- ALL TREE/SHRUB LIMBS SHALL BE PRUNED OR TRIMMED BACK, AND ALL ABOVE GROUND UTILITY CABLE LINES AND FREE STANDING SIGNS SHALL BE INSTALLED SUCH THAT EVERY ACCESSWAY WILL HAVE A VERTICAL CLEARANCE OF AT LEAST 14 FEET.
- EVERY ATTACHED GROUPINGS OF SINGLE FAMILY ATTACHED DWELLINGS, A MINIMUM OF TWO CHANGES IN THE FRONT WALL PLANE SHALL BE PROVIDED.
- THE BUCKS COUNTY PLANNING COMMISSION IS REVIEWING THIS PROJECT UNDER JOB #11432-B.
- THE PROJECT RECEIVED PRELIMINARY APPROVAL FROM NEW BRITAIN TOWNSHIP B.O.S. ON MARCH 18, 2024.
- THE PROJECT RECEIVED FINAL APPROVAL FROM NEW BRITAIN TOWNSHIP B.O.S. ON JULY 17, 2024.

NOTE:

EACH UNIT SHALL HAVE NO MORE THAN 3 BEDROOMS AND A MINIMUM OF 2 PARKING SPACES PROVIDED IN THE GARAGE AND/OR DRIVEWAY.

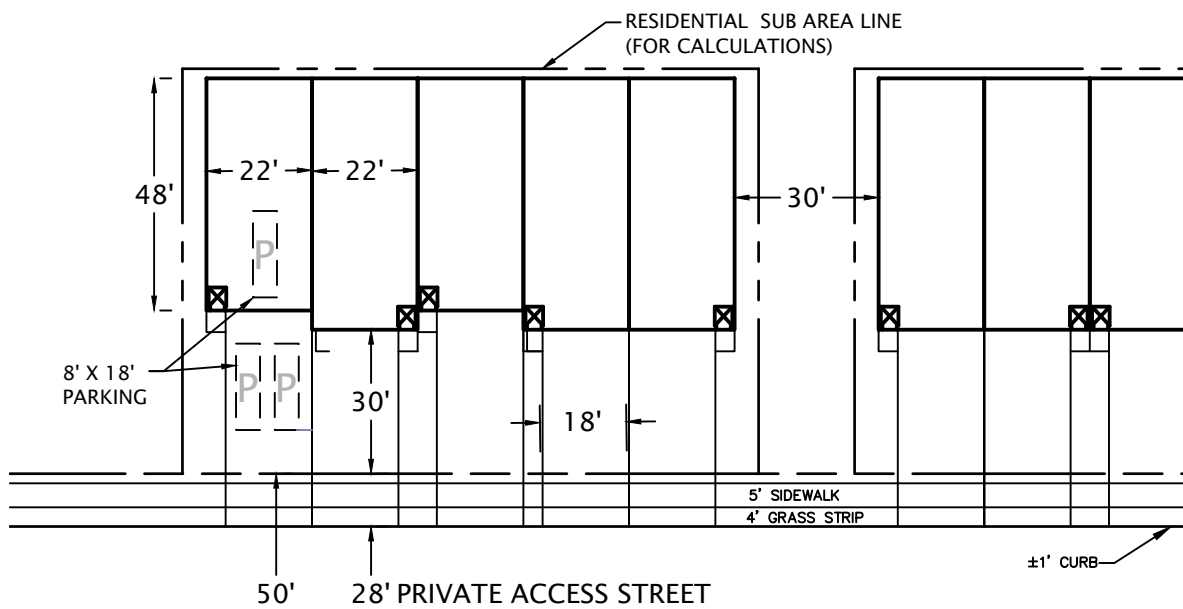
PARKING REQUIREMENTS:	REQUIREMENT:	REQ.	PROVIDED:
TMP #26-06-101-004			
USE B5 - SINGLE FAMILY ATTACHED DWELLING	2 SPACES PER DU (3 BDRM)	88	132
GUEST PARKING: (44 DU X .3)	.3 SPACES PER DU	14	14



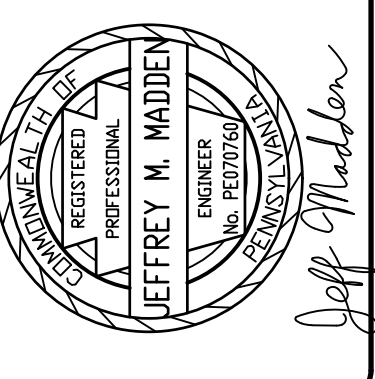
PROPOSED IMPERVIOUS ON SITE  
NOT TO SCALE



USGS SOIL MAP  
NOT TO SCALE



TYPICAL TOWNHOME DIMENSIONS  
SCALE: 1"=40'



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REV.	DATE	DESCRIPTION
4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

GENERAL NOTES  
BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:	10/6/23	SCALE:	AS NOTED
DESIGN:	JMM	DRAWN:	EJS
JOB NO.:	8363	FILE NAME:	8363--S-02--NOTES
REF. NO.:	SD02.01		
SHEET NO.:	4	OF	43





### LIMITATIONS FOR PENNSYLVANIA SOILS PERTAINING TO EARTH DISTURBANCE PROJECTS

SOIL NAME	CUTBANKS CAVE	CONFORM TO CORRODED STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED SEASONAL HIGH WATER TABLE	HYDRO LOGICALLY UNSATURATED	LOW INTERIOR LANDSLIDE POTENTIAL	SLOW PERMEATION	PIPING	POOR SOIL STRUCTURE	FROST ACTION	SHRINK- SWELL	SPERMATOPHYTES SINKHOLE	PONDING	WETNESS
ABBOTTSTOWN	X			X		X	X	X	X	X	X	X				X

## INDIVIDUAL TREES TO BE IMPACTED

TREE #	SIZE	SPECIES	NOTES
T01	20"	N/A	FALLEN DEAD
T02	20"	CHESTNUT	
T03	15"	OAK	
T04	18"	CHESTNUT	
T05	24"	CHERRY	
T06	18"	OAK	
T07	24"	ASH	
T08	34"	ASH	
T09	12"	ELM	
T10	36"	OAK	POOR CONDITION
T11	24"	ELM	POOR CONDITION
T12	20"	ELM	POOR CONDITION
T13	15"	ELM	
T14	15"	ASH	
T15	15"	OAK	
T16	20"	ASH	
T17	30"	MAPLE	
T18	24"	WILLOW	
T19	20"	WILLOW	
T20	2"	MAPLE	TO BE RELOCATED
T21	2"	SWEET GUM	TO BE RELOCATED

**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER 2017277117

UTILITY COMPANY

CHALFONT-NEW BRITAIN JOINT AUTH.  
BUCKS COUNTY WATER AND SEWER  
AQUA PENNSYLVANIA, INC.  
PECO  
NORTH WALES WATER  
NEW BRITAIN TWP.  
COMCAST CABLEVISION  
VERIZON

PHONE NUMBER

RETAIN JOINT AUTH.	215-345-1225
WATER AND SEWER	215-750-0585
SYLVANIA, INC.	610-525-1400
ECO	215-345-9300
LES WATER	215-699-4836
TAIN TWP.	215-882-1391
CABLEVISION	215-951-3800
IZON	215-968-0025

SOIL SURVEY OF BUCKS COUNTY, PA  
SOURCE: NATURAL RESOURCES CONSERVATION SERVICE MAP

SYMBOL	NAME	HYDROLOGIC SOIL GROUP	SLOPES %	DEPTH TO WATER TABLE	DEPTH TO RESTRICTIVE FEATURE	CONTAINS HYDRIC COMPONENTS	SURFACE RUNOFF
UfuB	URBAN LAND	NOT RATED	0-8%	NA	NA	NO	NA
UgB	URBAN LAND- ABBOTTSTOWN COMPLEX	D	0-8%	6"-18"	15 TO 30INCHES TO FRAGIPAN; 40 TO 60 INCHES TO LITCHIC BEDROCK	NO	VERY HIGH

### LEGEND

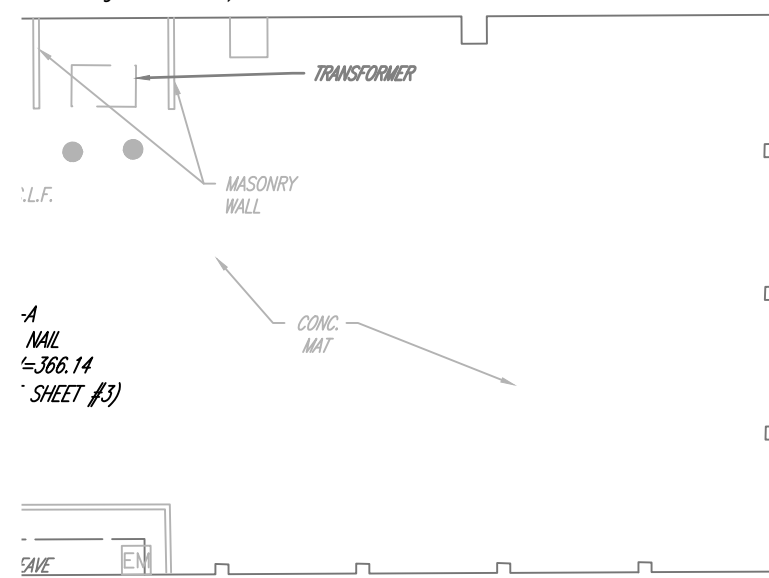
— GN	EXISTING CONTOUR		MAIL BOX		GAS METER	RTY WALL	RAILROAD TIE WALL
— DS	EXISTING SPOT ELEVATION		BOLLARD		ELECTRIC METER	(TYP.)	TYPICAL
TC 125.45	EXIST. TOP OF CURB ELEVATION		METAL GUIDE RAIL		DRAINAGE/STORM MANHOLE	D.W.P.	DETECTABLE WARNING PA
IC 122.95	EXIST. GUTTER ELEVATION		PARKING METER		SANITARY/SEWER MANHOLE	S.W.L.	SOLID WHITE LINE
TW 125.45	EXIST. TOP OF WALL ELEVATION		MONITORING WELL		TELEPHONE MANHOLE	S.Y.L.	SOLID YELLOW LINE
BW 122.95	EXIST. BOTTOM OF WALL ELEVATION		AREA LIGHT		ELECTRIC MANHOLE	D.Y.L.	DOUBLE YELLOW LINE
TI 123.45	EXIST. TOP OF ISLAND ELEVATION		CATCH BASIN OR INLET		UNKNOWN MANHOLE	HT	HEIGHT
BI 122.95	EXIST. BOTTOM OF ISLAND ELEVATION		DECIDUOUS TREE & TRUNK SIZE		WATER MANHOLE	DA.W.L.	DASHED WHITE LINE
FI 123.45	EXIST. FINISHED FLOOR ELEVATION		CONIFEROUS TREE & TRUNK SIZE		CLEAN OUT	B.L.D.	BUILDING
OS 123.45	EXIST. DOOR SILL ELEVATION		SHRUBS		POST	B.F.P.	BUILDING FOOTPRINT AREA
— OV	OVERHEAD WIRES		PARKING SPACE COUNT		UTILITY POLE	N.V.P.	NO VISIBLE PIPE
—	APPROX. LOC. UNDERGROUND GAS LINE		CHAIN LINK FENCE		UTILITY POLE/LIGHT POLE	F.W.D.	FILLED WIDERS
— E	APPROX. LOC. UNDERGROUND ELEC. LINE		DEPRESSED CURB		GUY WIRE	B.O.S.	BOTTOM OF STRUCTURE
— T	APPROX. LOC. UNDERGROUND TEL. LINE		EDGE OF CONC.		TRAFFIC SIGNAL POLE		
— W	APPROX. LOC. UNDERGROUND WATER LINE		EDGE OF PAVEMENT		TRAFFIC SIGNAL		
—	DEPRESSED CURB		LANDSCAPED AREA		PAINTED ARROWS		
	HYDRANT		METAL COVER		SIGN		
	WATER VALVE						
	UNKNOWN VALVE						
	GAS VALVE						

### 27-2402 SITE CAPACITY CALCULATIONS (RESIDENTIAL DEVELOPMENT):

NATURAL RESOURCES	PROTECTION RATIO	ACRES OF LAND IN RESOURCES	RESOURCE PROTECTION LAND	ACRES OF LAND TO BE DISTURBED
WATERCOURSES	1.00	0 AC	0 AC	0 AC
RIPARIAN BUFFER	1.00	0 AC	0 AC	0 AC
FLOODPLAIN	1.00	0 AC	0 AC	0 AC
FLOODPLAIN (ALLUVIAL SOILS)	1.00	0 AC	0 AC	0 AC
WETLANDS	1.00	.28 AC**	.28 AC*	0 AC
LAKES/PONDS	1.00	0 AC	0 AC	0 AC
WETLANDS MARGINS	.80	.60 AC*	.48 AC*	.12 AC*
WOODLANDS	.50	0 AC	0 AC	0 AC
STEEP SLOPES 8%-15% **	.60	0 AC	0 AC	0 AC
STEEP SLOPES 15%-25% **	.70	0 AC	0 AC	0 AC
STEEP SLOPES 25% OR MORE **	.85	0 AC	0 AC	0 AC

TOTAL LAND IN RESOURCES  
TOTAL RESOURCE PROTECTION LAND  
TOTAL RESOURCE LAND PROVIDED  
TOTAL DISTURBED RESOURCES  
\*AREAS ON RESIDENTIAL LOT AND WAWA LOT  
\*\*PLAN ASSUMES ALL MAN-MADE SLOPES ARE EXEMPT  
\*\*\*0.11 AC RESIDENTIAL DEVELOPMENT

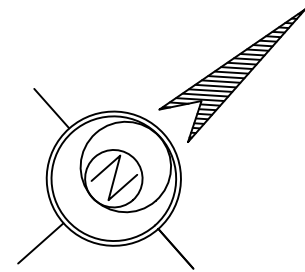
BASE SITE AREA:	7.93 AC
X MIN. OPEN SPACE:	x 5%
STANDARD MIN. OPEN SPACE:	.39 AC
REQUIRED OPEN SPACE:	.69 AC
LANDS WITH 1.00 PROTECTION RATIO:	.11 AC
+STANDARD MIN. OPEN SPACE:	.69 AC
NET BUILDABLE SITE AREA:	7.24 AC
BASE SITE AREA:	7.93 AC
SUBTRACT REQUIRED OPEN SPACE:	.69 AC
NUMBER OF DWELLINGS/LOTS:	N/A
NET BUILDABLE SITE AREA:	7.24 AC
MAX. DENSITY:	N/A
DWELLINGS PERMITTED:	N/A
SUBTRACT ROW EASEMENT(PROPOSED)	1.31 AC
RATIO BASE SITE AREA:	5.93 AC
PERMITTED IMPERVIOUS:	35%
MAXIMUM PERMITTED IMPERVIOUS SURFACE:	2.08 AC



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft



N/F LANDS OF  
WILLIAM THOMAS DERRIN  
INST. #2020004537

MATCHLINE SHEET 5  
MATCHLINE SHEET 6

MATCHLINE SHEET 6

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REV.	DATE	DESCRIPTION	DRAWN
1.	01/19/24	UPDATE PLAN & PARTIAL TREE LOCATION AS OF 01/16/2024	IRS
2.	04/05/24	ADD ADDITIONAL TREE LOCATIONS TO PLAN	IRS
3.	09/03/24	REVISIONS PER TOWNSHIP COMMENTS	KMS
4.	11/01/24	REVISIONS PER TOWNSHIP COMMENTS	KMS

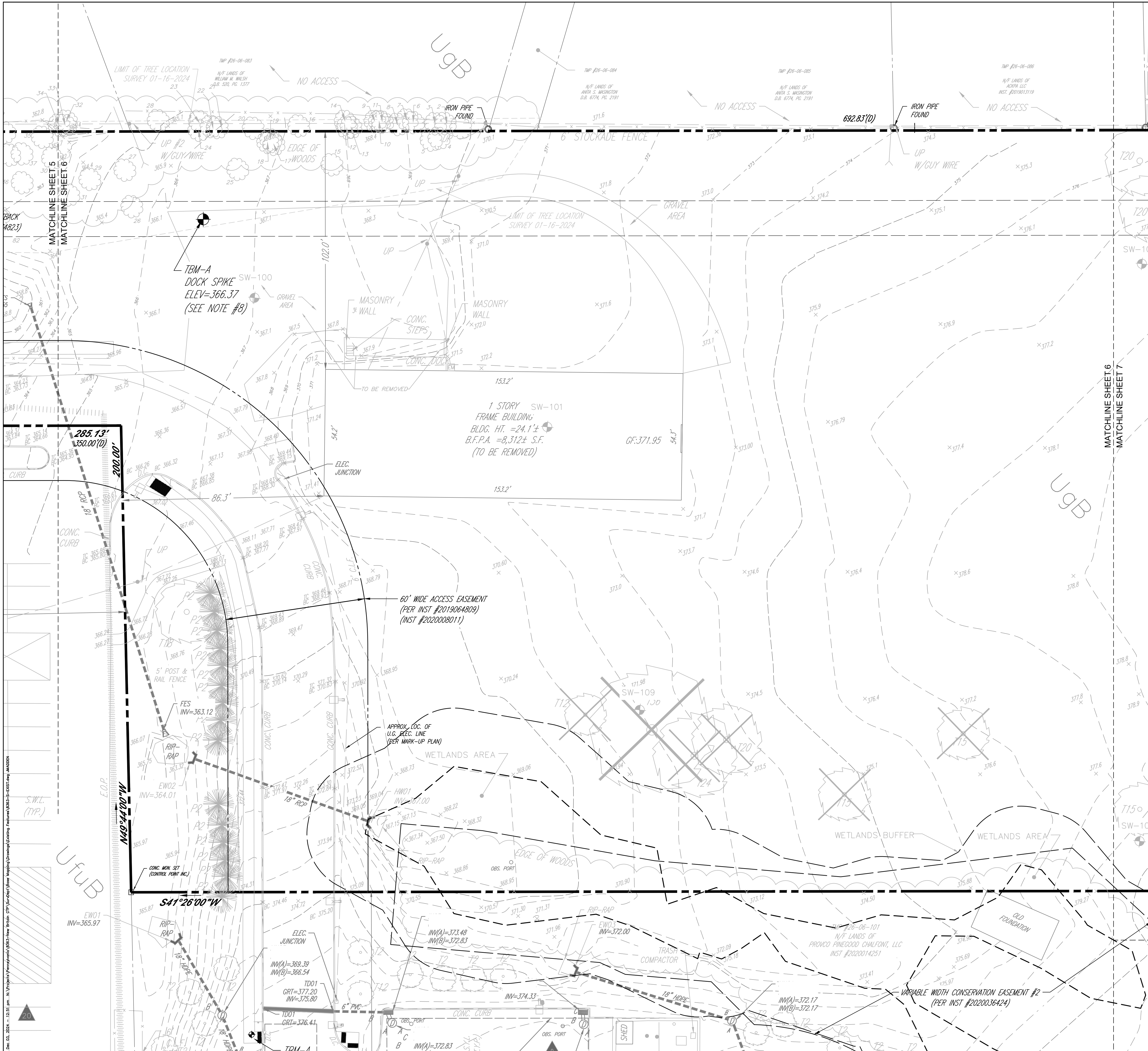
EXISTING FEATURES/ERSAP PLAN  
TMP #26-06-101-004

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/06/23	SCALE: 1"=20'
DESIGN:	DRAWN: EAF
JOB NO.: 8363	FILE NAME: 8363-S-EXIST
REF. NO.:	
SHEET NO.: <b>5</b> OF <b>43</b>	

Dec 03, 2024 - 12:51 pm N:\Projects\Pennsylvania\8363-New Britain CTP\SunOpt\Bore Mapping\Drawings\Existing Features\8363-S-E0ST.dwg -MAODEN

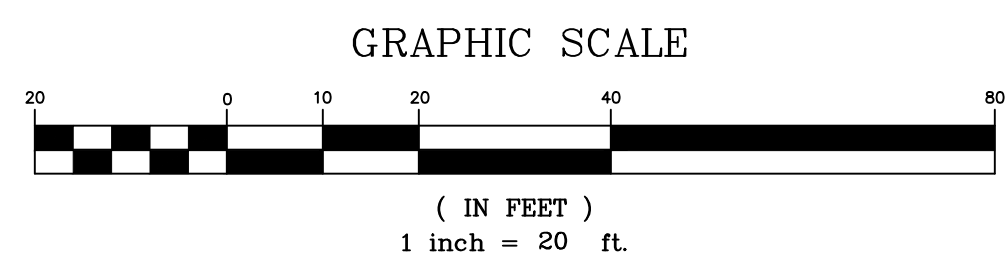




Tag Number	Species Located 1/16/2024	Diameter at breast height (in)
1	MAPLE	14
2	CHERRY	7
3	HOLLY	3
4	MAPLE	5
5	MAPLE	9
6	HOLLY	2
7	HOLLY	3
8	CHERRY	12
9	HOLLY	3
10	CHERRY	3
11	HOLLY	3
12	ASH	10
13	ASH	10
14	ASH	8
15	CHERRY	6
16	MAPLE	12
17	WALNUT	12
18	WALNUT	8
19	MAPLE	3
20	MAPLE	6
21	ASH	9
22	MAPLE	4
23	MAPLE	11
24	MAPLE	18
25	MAPLE	4
26	WALNUT	15
27	WALNUT	17
28	MAPLE	3
29	WALNUT	4
30	OAK	7
31	WALNUT	15
32	CHERRY	18
33	CHERRY	8
34	MAPLE	5
35	WALNUT	27
36	WALNUT	12
37	MAPLE	4
38	MAPLE	12
39	OAK	30
40	ASH	40
41	ELM	14
42	ASH	14
43	ASH	8
44	CHERRY	10
45	MAPLE	10
46	CHERRY	9
47	ELM	16
48	OAK	17
49	OAK	9
50	MAPLE	4
51	OAK	17
52	WALNUT	12
53	WALNUT	5
54	MAPLE	9
55	WALNUT	18
56	MAPLE	6
57	OAK	7
58	CRABAPPLE	10
59	CHERRY	8
60	MAPLE	40
61	WALNUT	6
62	OAK	25
63	SPICEBUSH	3
64	MAPLE	4
65	ASH	16
66	SPICEBUSH	4
67	OAK	24
68	ASH	21
69	MAPLE	12
70	MAPLE	2
71	ASH	24
72	WALNUT	20
73	ASH	7
74	ASH	10
75	MAPLE	15
76	MAPLE	9
77	PINE	11
78	OAK	12
79	PINE	18
80	MAPLE	9
81	MAPLE	7
82	CRABAPPLE	7
83	CRABAPPLE	5
84	MAPLE	12
85	MAPLE	2
86	MAPLE	10
87	MAPLE	9
88	OAK	4
89	OAK	4
90	MAPLE	3
91	WALNUT	13
92	WALNUT	14
93	MAPLE	3
94	ASH	14
95	ASH	18
96	CHERRY	18
97	CRABAPPLE	9
98	CHERRY	14
99	CHERRY	8
100	MAPLE	24
101	DOGWOOD	4
102	ASH	6
103	DOGWOOD	2
104	DOGWOOD	4
105	WALNUT	5
106	PINE	3
107	WALNUT	4
108	PINE	5
109	WALNUT	6
110	CRABAPPLE	5
111	PINE	3
112	CRABAPPLE	3
113	CRABAPPLE	3
114	CRABAPPLE	5
115	CRABAPPLE	4
116	CRABAPPLE	2
117	CRABAPPLE	6
118	CRABAPPLE	4
119	CRABAPPLE	4
120	CRABAPPLE	2
121	CRABAPPLE	4
122	PINE	2
123	CRABAPPLE	4
124	CRABAPPLE	4
125	CRABAPPLE	4
126	ASH	12
127	ASH	24
128	PINE	2
129	PINE	2
130	MAPLE	2
131	MAPLE	4
132	MAPLE	19
133	CHERRY	6
134	CRABAPPLE	4
135	CRABAPPLE	4
136	CHERRY	18
137	WALNUT	7
138	OAK	14
139	CRABAPPLE	3
140	CRABAPPLE	8
141	DOGWOOD	6
142	DOGWOOD	4
143	DOGWOOD	4
144	WALNUT	9
145	DOGWOOD	3
146	DOGWOOD	2
147	DOGWOOD	6
148	DOGWOOD	4
149	ASH	4

Tag Number	Species Located 1/16/2024	Diameter at breast height (in)
150	ASH	2
151	ASH	4
152	CRABAPPLE	2
153	ASH	3
154	ASH	2
155	ASH	3
156	ASH	4
157	ASH	5
158	MAPLE	17
159	MAPLE	16
160	MAPLE	3
161	CRABAPPLE	5
162	CRABAPPLE	4
163	CRABAPPLE	4
164	CRABAPPLE	4
165	MAPLE	10
166	POPLAR	10
167	POPLAR	10
168	POPLAR	10
169	POPLAR	12
170	POPLAR	10
171	POPLAR	12
172	CHERRY	10
173	OAK	23
174	MAPLE	4
175	MAPLE	4
176	WALNUT	24
177	WALNUT	4
178	CRABAPPLE	2
179	OAK	11
180	MAPLE	5
181	MAPLE	5
182	CRABAPPLE	2
183	CRABAPPLE	2
184	DOGWOOD	4
185	MAPLE	24
186	CHERRY	8
187	ASH	12
188	CRABAPPLE	6
189	POPLAR	8
190	POPLAR	12
191	POPLAR	12
192	MAPLE	18
193	DOGWOOD	3
194	CHERRY	9
195	CHERRY	18
196	CHERRY	13
197	CHERRY	12
198	CHERRY	12
199	CHERRY	8
200	CHERRY	13
201	ASH	6
202	ASH	15
203	OAK	25
204	POPLAR	10
205	CHERRY	15
206	OAK	12
207	ASH	19
208	ASH	13
209	PINE	3

Tag Number	Species Located 04-04-2024	Diameter at Breast height (in)
210	MAPLE	16
211	ELM	72
212	PINE	48
213	CHERRY	10
214	CHERRY	5
215	PINE	16
216	PINE	24
217	PINE	24
218	PINE	16
219	PINE	18
220	PINE	24
221	CRABAPPLE	3
222	PINE	10
223	PINE	24
224	MAPLE	6
225	PINE	10
226	PINE	10
227	CHERRY	3
228	CHERRY	5
229	ASH	4
230	MAPLE	5
231	MAPLE	4
232	ASH	3
233	ASH	6
234	MAPLE	6
235	MAPLE	8
236	CHERRY	3
237	ELM	3
238	MAPLE	14
239	PINE	19
240	PINE	28
241	MAPLE	15
242	ASH	6
243	ASH	7
244	PINE	30
245	PINE	3
246	OAK	9
247	ASH	8
248	MAPLE	4
249	MAPLE	30
250	WALNUT	16



EXISTING FEATURES/ERSAP PLAN  
TMP #26-06-101-004

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/06/23  
DESIGN: EAF  
JOB NO.: 8363  
REF. NO.:  
SHEET NO.: 6 OF 43

SCALE: 1"=20'  
DRAWN: EAF  
FILE NAME: 8363-S-ERSAP  
REV. DATE DESCRIPTION

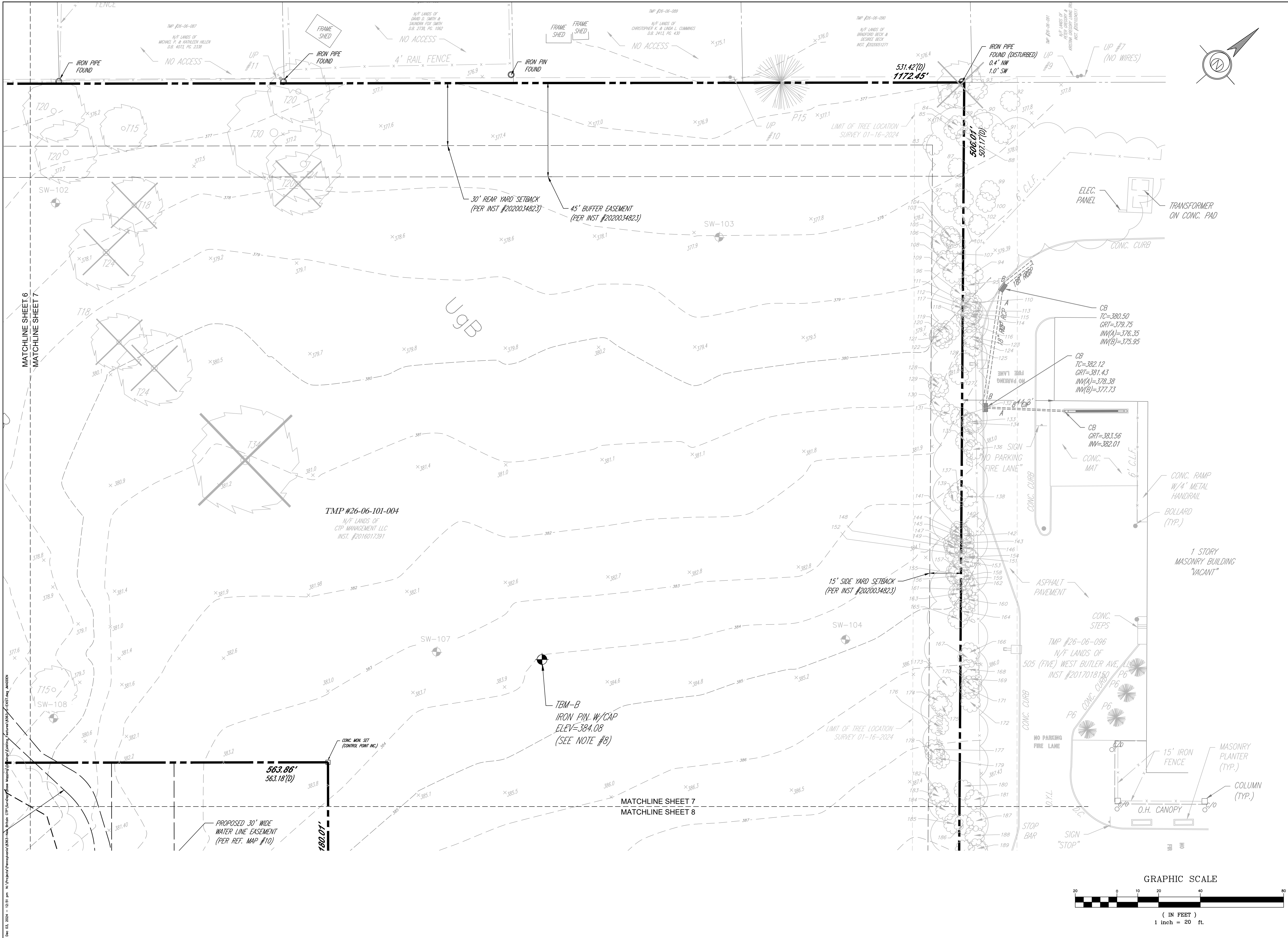
THOMAS B. HENDRICKS  
PROFESSIONAL LAND SURVEYOR  
PA LICENSE NO. SU-04452-E

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1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

11/01/24 REVISIONS PER TOWNSHIP COMMENTS  
09/03/24 REVISIONS PER TOWNSHIP COMMENTS  
04/05/24 ADD ADDITIONAL TREE LOCATIONS TO PLAN  
01/19/24 UPDATE PLAN & PARTIAL TREE LOCATION AS OF 01/16/2024

REV. DATE DESCRIPTION





EXISTING FEATURES/ERSAP PLAN  
TMP #26-06-101-004

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:  
10/06/23

DESIGN:  
EAF

JOB NO.:  
8363

REF. NO.:

SHEET NO.:  
7

SCALE:  
1"=20'

DRAWN:  
EAF

FILE NAME:  
8363-S-EXIST

OF  
43

THOMAS B. HENDRICKS  
PROFESSIONAL LAND SURVEYOR  
PA LICENSE NO. SU-04452-E

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REV.	DATE	DESCRIPTION
1.	07/19/24	UPDATE PLAN & PARTIAL TREE LOCATION AS OF 07/16/2024
2.	04/05/24	ADD ADDITIONAL TREE LOCATIONS TO PLAN
3.	09/03/24	REVISIONS PER TOWNSHIP COMMENTS
4.	11/01/24	REVISIONS PER TOWNSHIP COMMENTS

KMS

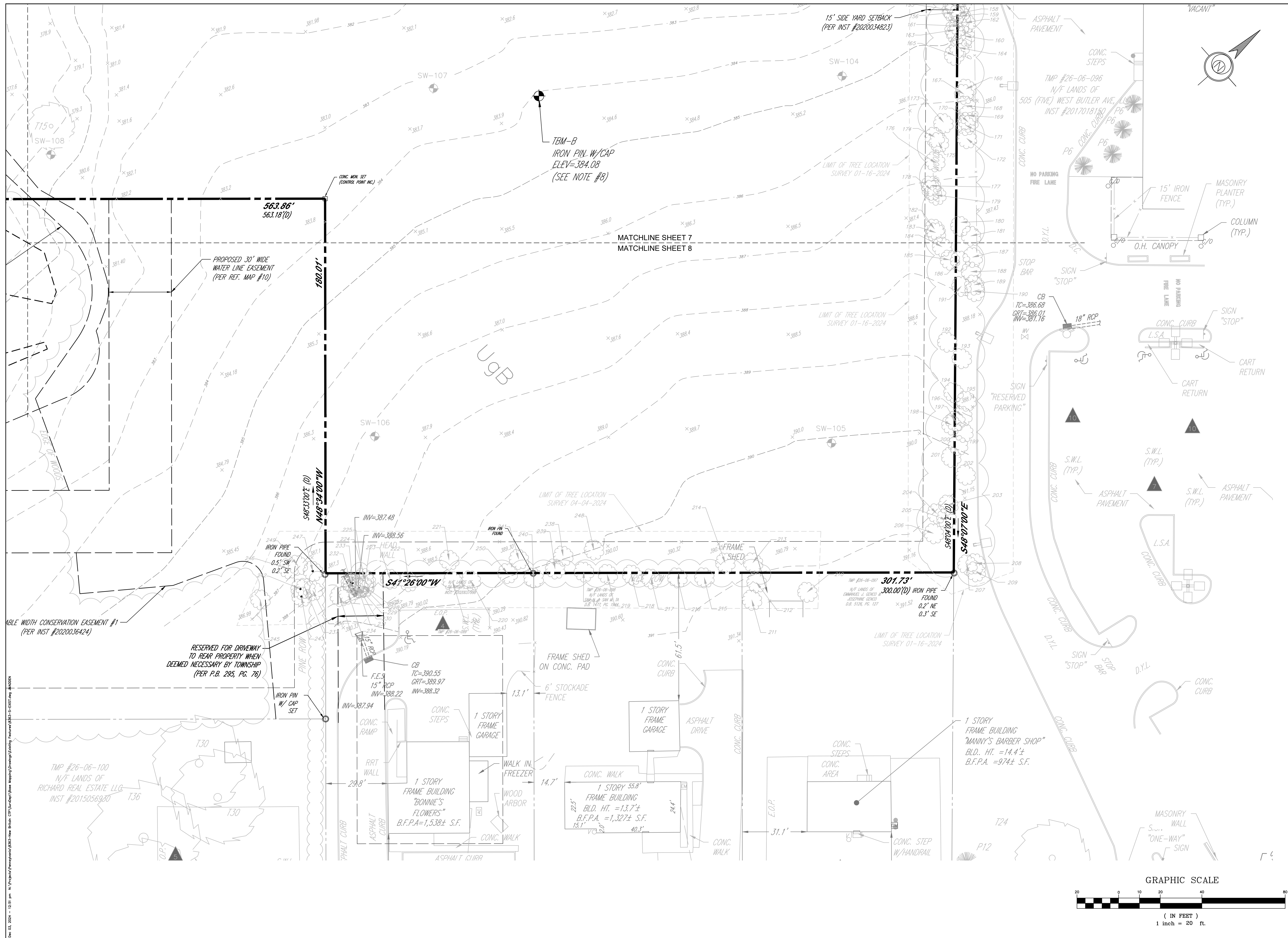
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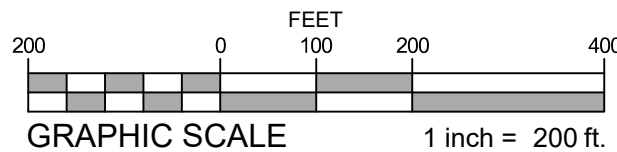




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SOURCE: VIVID ADVANCED  
DATE: MARCH 29, 2023



AERIAL MAP	
BIRCH RUN AT NEW BRITAIN NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA	
DATE: 10/6/23	SCALE: 1" = 200'
DESIGN: ESE	DRAWN: EJS
JOB NO.: 8363	FILE NAME: 8363-S-03-AERIAL
REF. NO.:	SD03.05
SHEET NO.:	9 OF 43

REV.	DATE	DESCRIPTION
4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS
		DRAWN

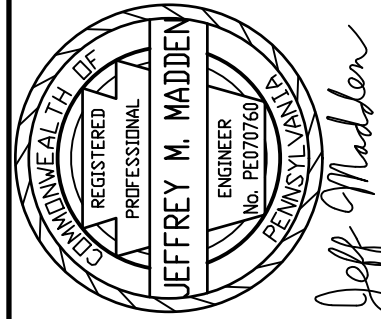
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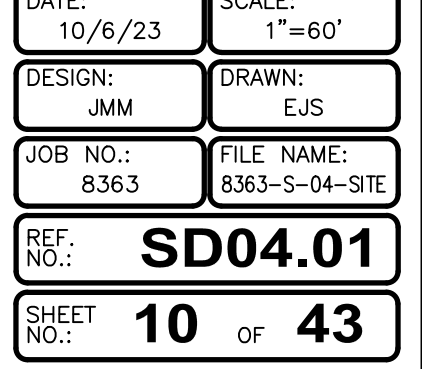
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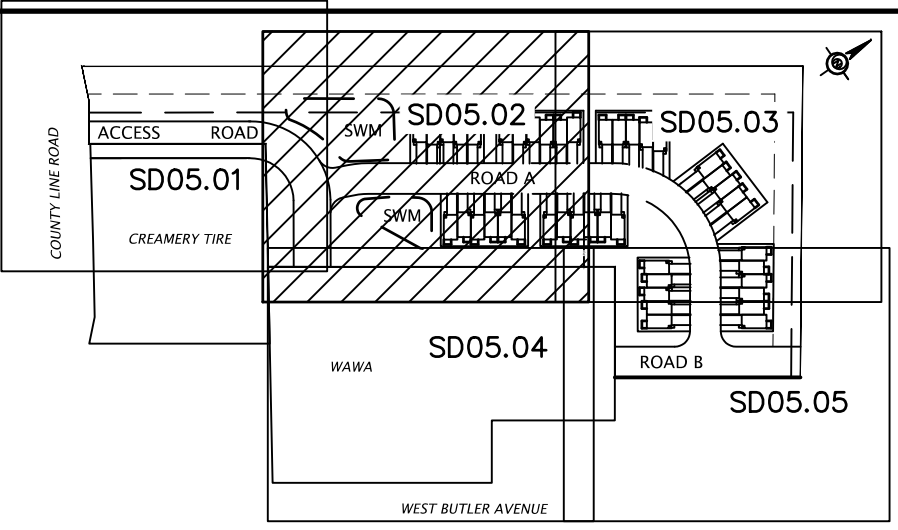
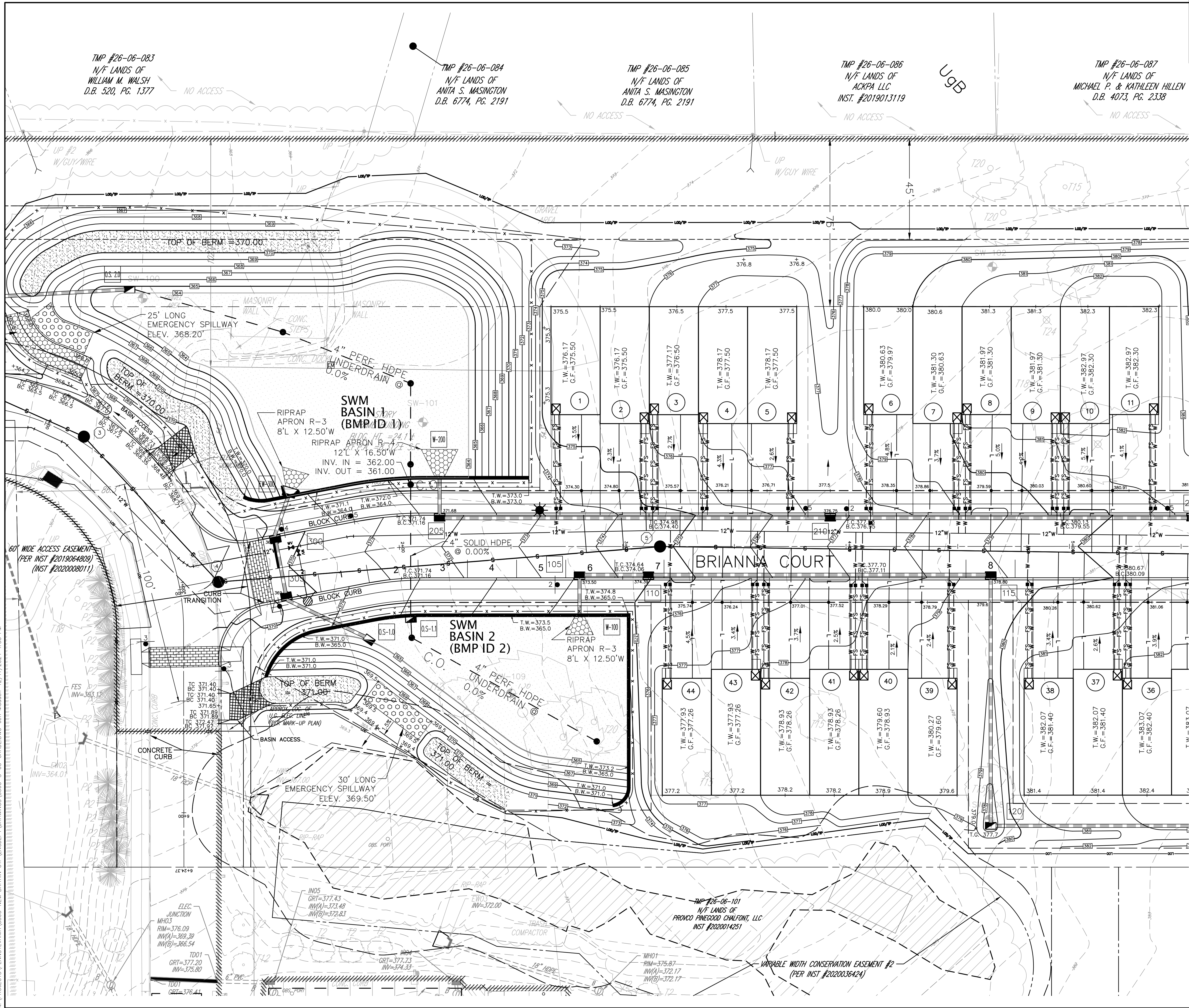




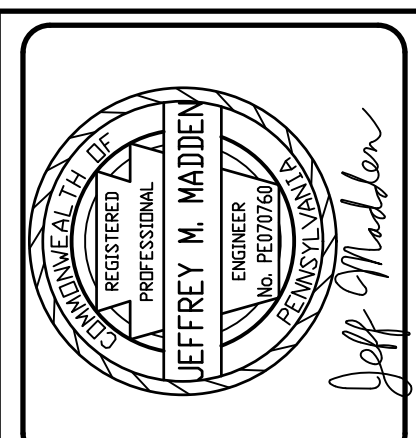
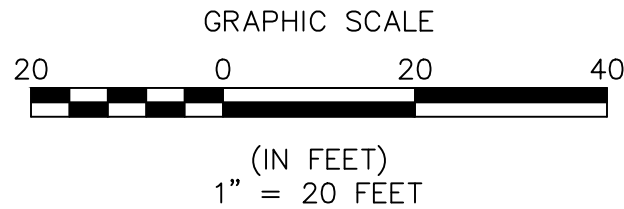




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- LEGEND**
- TW= TOP OF WALL ELEVATION
  - GF= GARAGE FLOOR ELEVATION
  - EXISTING STRUCTURE
  - EXISTING DIRT/GRAVEL ROAD
  - EXISTING STREET SIGN
  - EXISTING UTILITY POLE
  - EXISTING R.O.W.
  - EXISTING CARTWAY
  - STREAM LINE
  - EXISTING CENTER LINE
  - EXISTING BOUNDARY LINE
  - SOILS LINE
  - EXISTING UNDERGROUND GAS LINE
  - (ELECTRIC, PHONE, CABLE, ETC.)
  - EXISTING CONCRETE MONUMENT
  - EXISTING IRON PIN
  - EXISTING SIGN
  - EXISTING UTILITY POLE
  - EXISTING INLET
  - EXISTING SPOT ELEVATION
  - EXISTING TREE
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING TREE LINE
  - EXISTING VEGETATION
  - PROPOSED TREE LINE
  - EXISTING INLET W/ STORM SEWER
  - PROPOSED STORM SEWER W/ STRUCTURE NUMBER
  - PROPOSED STORM MANHOLE W/ STRUCTURE NUMBER
  - PROPOSED FLARED END SECTION W/STRUCTURE NUMBER
  - PROPOSED UNDERGROUND UTILITIES (ELECTRIC, PHONE, CABLE, ETC.)
  - PROPOSED SPLIT RAIL FENCE
  - PROPOSED GUIDE RAIL
  - PROPOSED SIGHT TRIANGLE
  - PROPOSED WATER LATERAL
  - PROPOSED FIRE SERVICE LATERAL
  - PROPOSED SANITARY LATERAL W/ CLEANOUT
  - TREE PROTECTION FENCE
  - RIP-RAP APRON
  - LOT NUMBER
  - LIGHT POST
  - STREET SIGN
  - DO NOT ENTER SIGN
  - SPEED LIMIT SIGN
  - PEDESTRIAN CROSSING SIGN
  - STOP SIGN 30"x30"
  - NO PARKING SIGN
  - NO PEDESTRIAN AND SIDEWALK CLOSED SIGN
  - STOP BAR
  - WETLANDS
  - WATERS OF THE U.S.
  - SANITARY MAIN AND MANHOLE W/ STRUCTURE NUMBER
  - PROPOSED 12" WATERMAIN
  - PROPOSED 6" WATERMAIN
  - WETLAND BUFFER
  - CROSSWALK IMPRINT
  - PROPOSED R.O.W.



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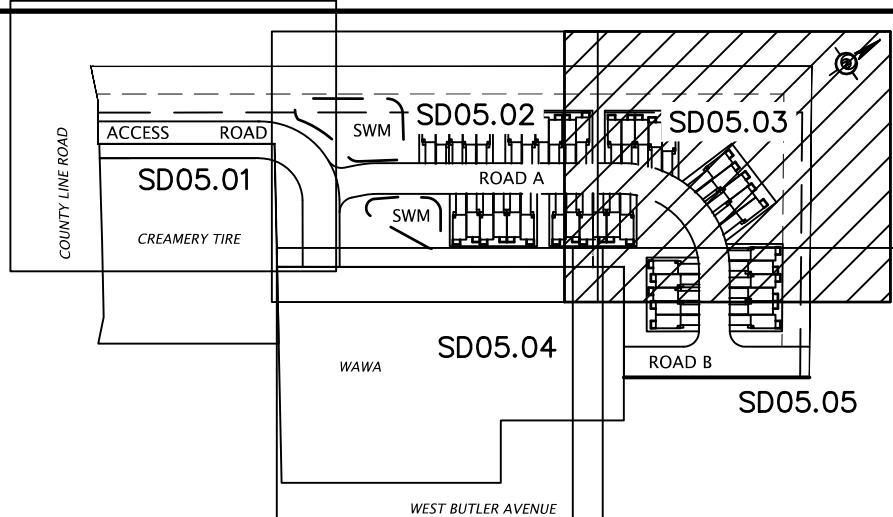
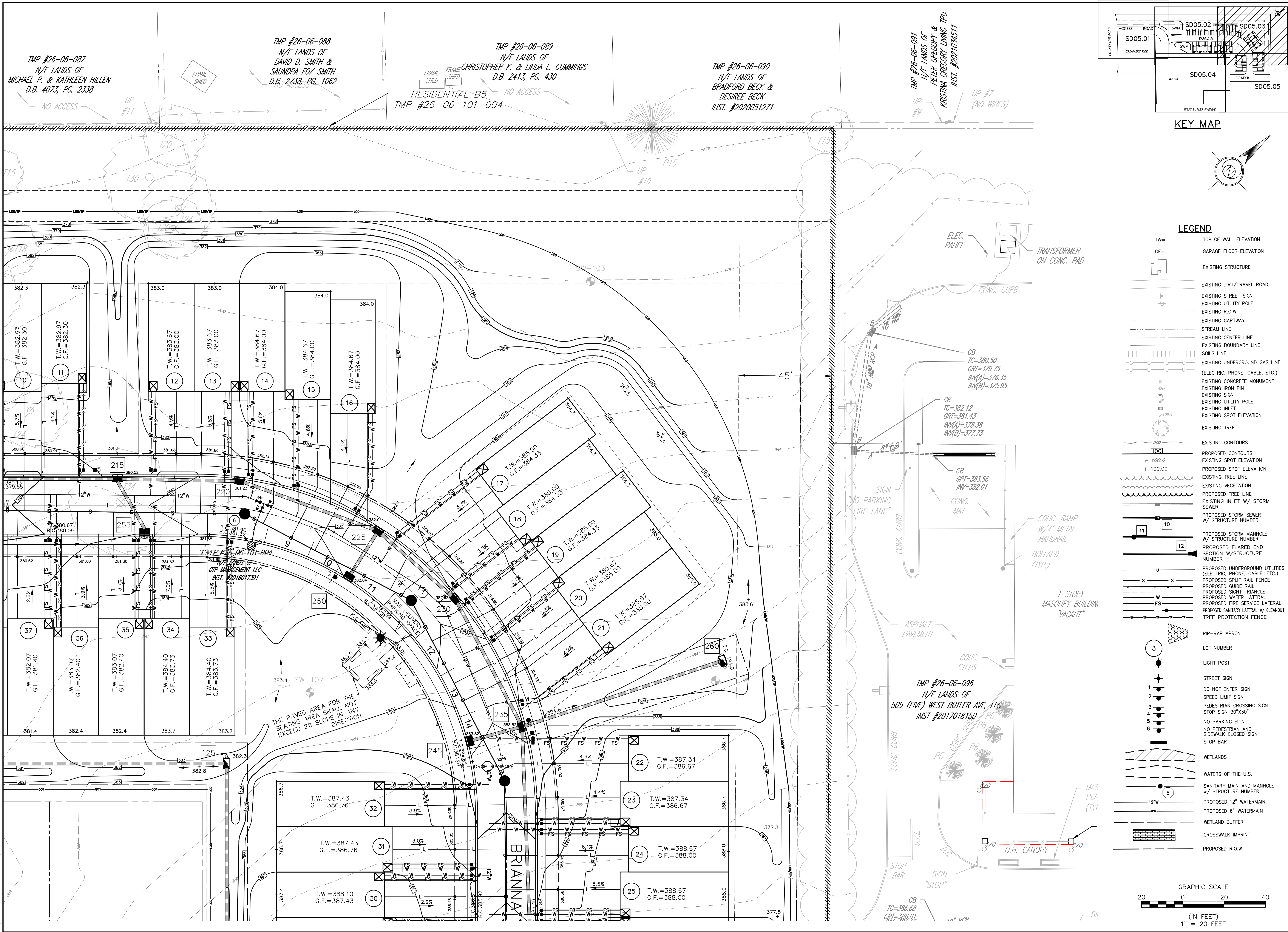
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2	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
3	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
4	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

**GRADING PLAN**  
**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

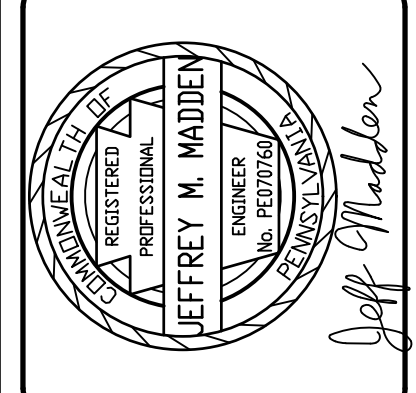
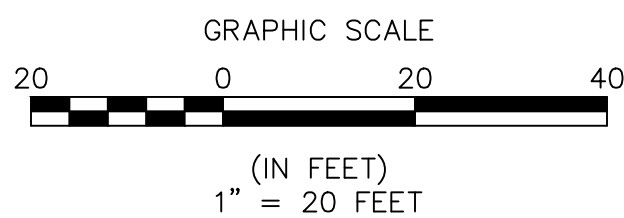
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JOB NO.:	8363	FILE NAME:	8363-S-05-GRADE
REF. NO.:	SD05.02		
SHEET NO.:	12	OF	43



N:\PROJECTS\PENNSYLVANIA\8363-NEW BRITAIN CIP\ENGDEPT\DRAWINGS\8363-S-05-GRADE DWG-Jeff Madden-12/3/2024 12:53 PM



- LEGEND**
- TW= TOP OF WALL ELEVATION
  - GF= GARAGE FLOOR ELEVATION
  - EXISTING STRUCTURE
  - EXISTING DIRT/GRAVEL ROAD
  - EXISTING STREET SIGN
  - EXISTING UTILITY POLE
  - EXISTING R.O.W.
  - EXISTING CARTWAY
  - STREAM LINE
  - EXISTING CENTER LINE
  - EXISTING BOUNDARY LINE
  - SOILS LINE
  - EXISTING UNDERGROUND GAS LINE (ELECTRIC, PHONE, CABLE, ETC.)
  - EXISTING CONCRETE MONUMENT
  - EXISTING IRON PIN
  - EXISTING SIGN
  - EXISTING UTILITY POLE
  - EXISTING INLET
  - EXISTING SPOT ELEVATION
  - EXISTING TREE
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING TREE LINE
  - EXISTING VEGETATION
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  - EXISTING INLET W/ STORM SEWER
  - PROPOSED STORM SEWER W/ STRUCTURE NUMBER
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  - PROPOSED SIGHT TRIANGLE
  - PROPOSED WATER LATERAL
  - PROPOSED FIRE SERVICE LATERAL
  - PROPOSED SANITARY LATERAL W/ CLEANOUT
  - TREE PROTECTION FENCE
  - RIP-RAP APRON
  - LOT NUMBER
  - LIGHT POST
  - STREET SIGN
  - DO NOT ENTER SIGN
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  - PROPOSED 12" WATERMAIN
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  - WETLAND BUFFER
  - CROSSWALK IMPRINT
  - PROPOSED R.O.W.



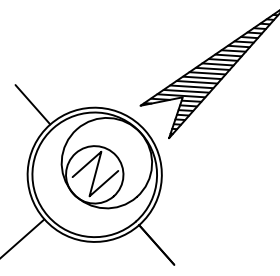
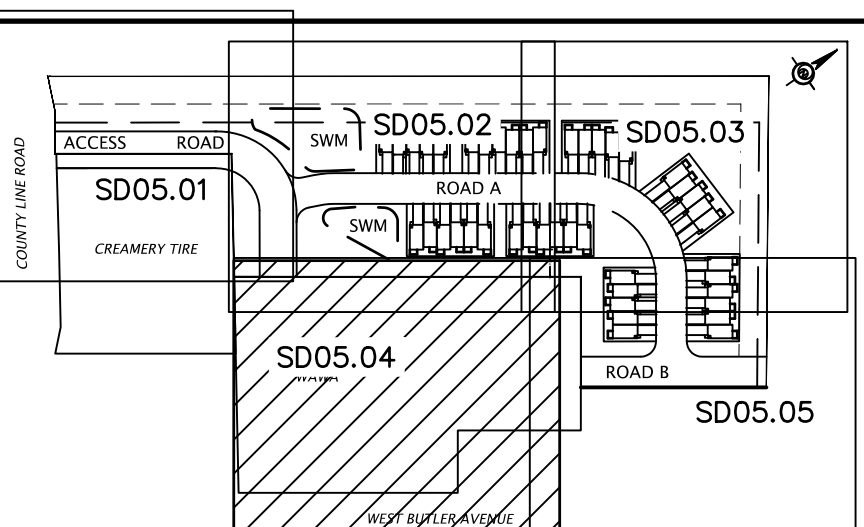
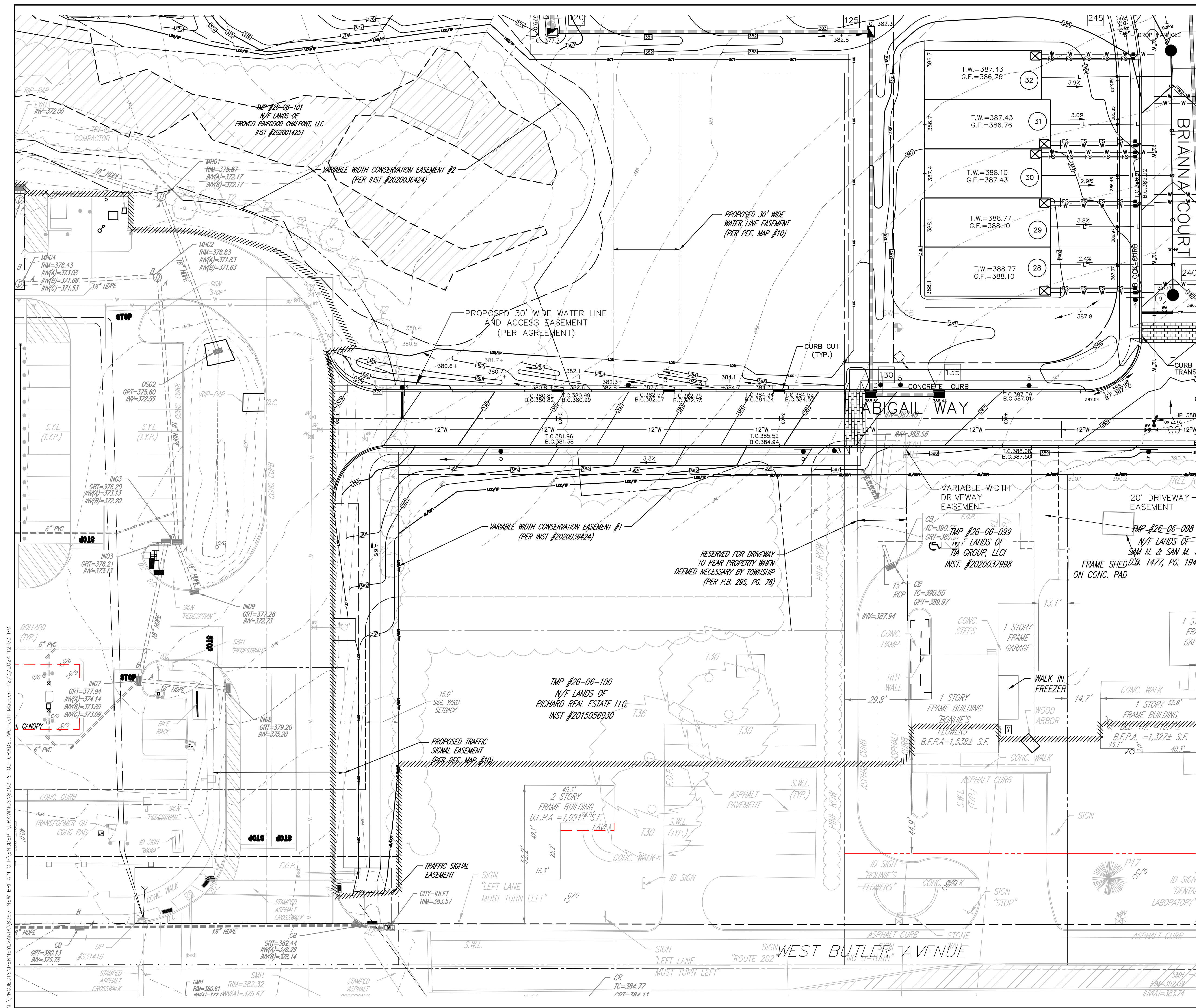
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










































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3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

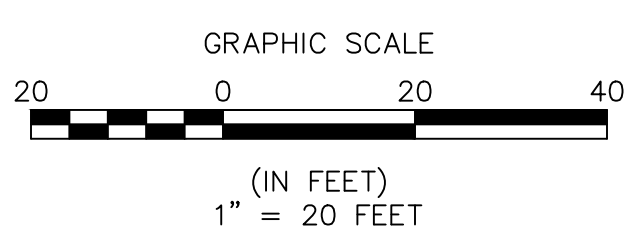
**GRADING PLAN**  
**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:	10/6/23	SCALE:	1"=20'
DESIGN:	JMM	DRAWN:	EJS
JOB NO.:	8363	FILE NAME:	8363-S-05-GRADE
REF. NO.:			
SHEET NO.:	13	OF	43





TW=	TOP OF WALL ELEVATION
GF=	GARAGE FLOOR ELEVATION
	EXISTING STRUCTURE
	EXISTING DIRT/GRAVEL ROAD
	EXISTING STREET SIGN
	EXISTING UTILITY POLE
	EXISTING R.O.W.
	EXISTING CARTWAY
	STREAM LINE
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	EXISTING IRON PIPE
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	EXISTING SPOT ELEVATION
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	EXISTING CONTOURS
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	PROPOSED SIGHT TRIANGLE
	PROPOSED WATER LATERAL
	PROPOSED FIRE SERVICE LATERAL
	PROPOSED SANITARY LATERAL w/ CLEANOUT
	TREE PROTECTION FENCE
	RIP-RAP APRON
	LOT NUMBER
	LIGHT POST
	STREET SIGN
	DO NOT ENTER SIGN
	SPEED LIMIT SIGN
	PEDESTRIAN CROSSING SIGN
	STOP SIGN 30"x30"
	NO PARKING SIGN
	NO PEDESTRIAN AND SIDEWALK CLOSED SIGN
	STOP BAR
	WETLANDS
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	SANITARY MAIN AND MANHOLE w/ STRUCTURE NUMBER
	PROPOSED 12" WATERMAIN
	PROPOSED 6" WATERMAIN
	WETLAND BUFFER
	CROSSWALK IMPRINT
	PROPOSED R.O.W.



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REV	DATE	DESCRIPTION	REVISION
4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
			REVISION

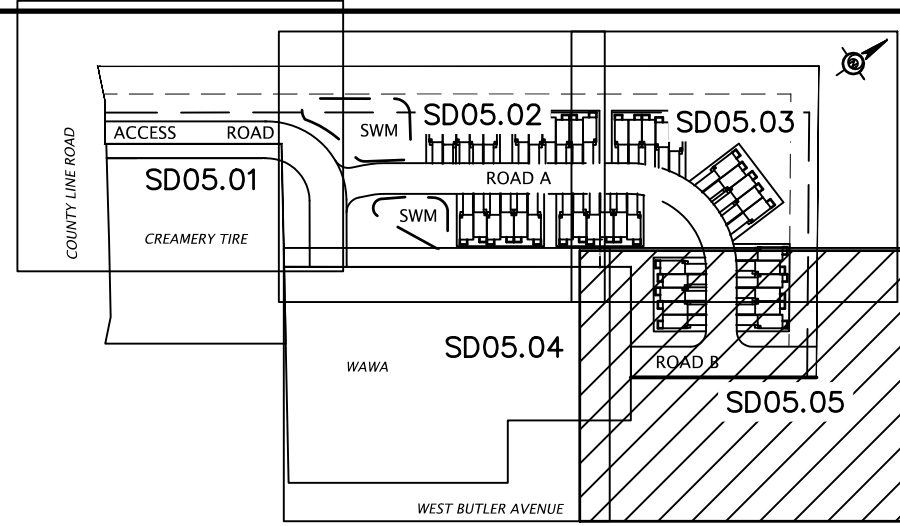
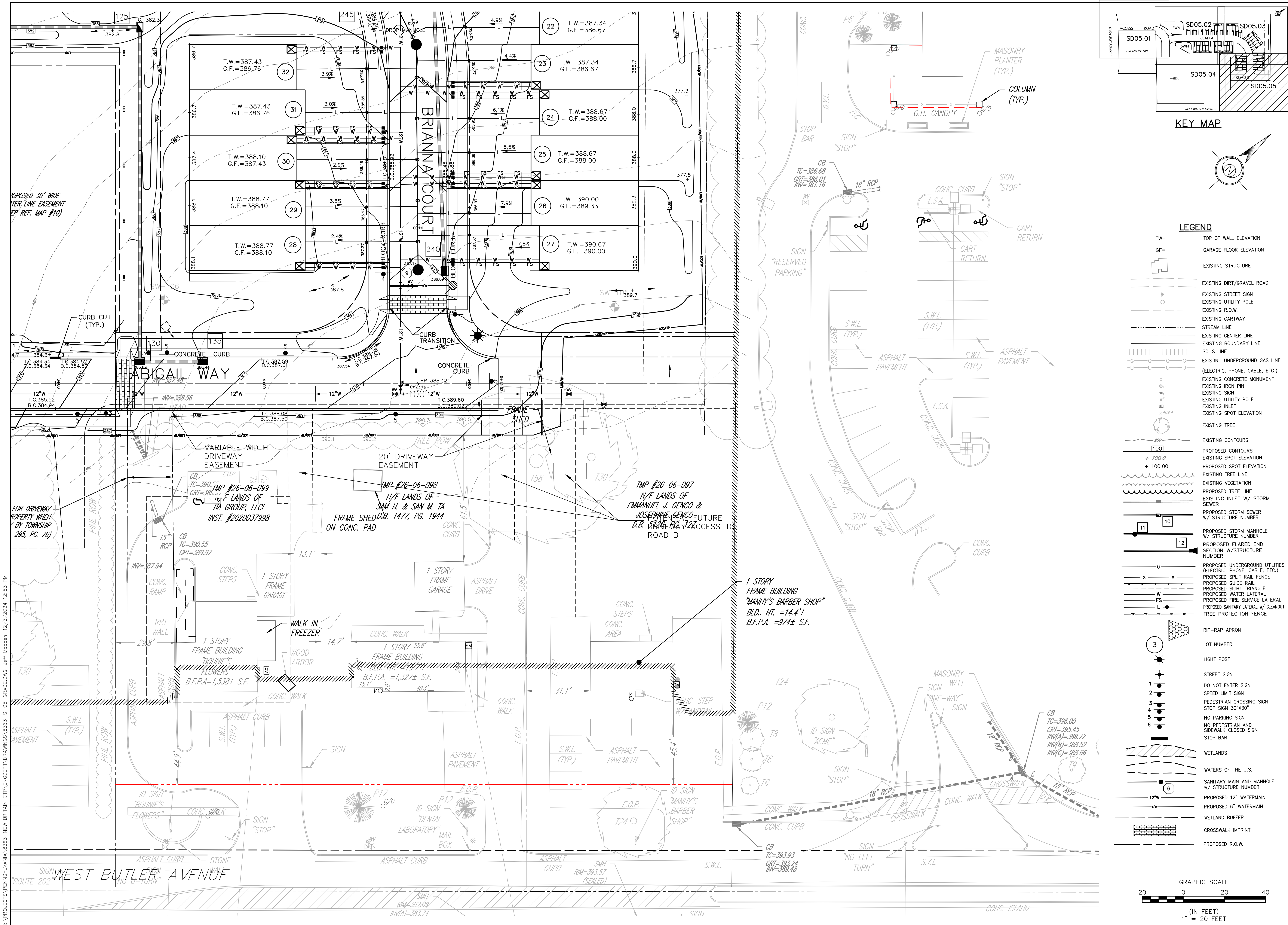
GRADING PLAN

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

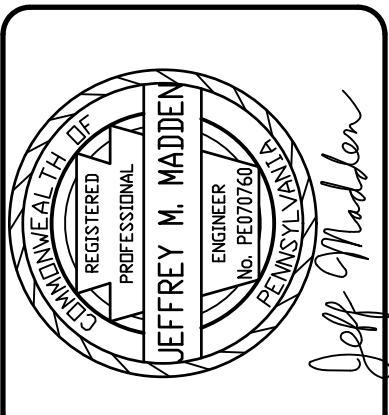
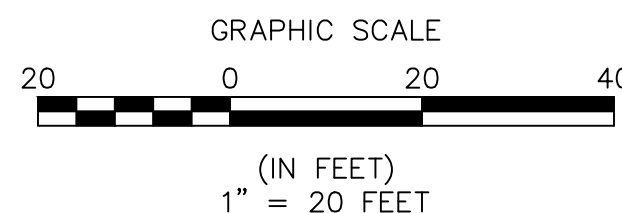
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JOB NO.: 8363	FILE NAME: 8363-S-05-GRADE
REF. NO.:	<b>SD05.04</b>
SHEET NO.:	<b>14</b> OF <b>43</b>



N:\PROJECTS\PENNSYLVANIA\8363-NEW BRITAIN CIP\ENGINEERING\DRAWINGS\8363-S-05-GRADE.DWG--Jeff Madden-12/3/2024 12:53 PM



LEGEND	
TW=	TOP OF WALL ELEVATION
GF=	GARAGE FLOOR ELEVATION
	EXISTING STRUCTURE
	EXISTING DIRT/GRAVEL ROAD
	EXISTING STREET SIGN
	EXISTING UTILITY POLE
	EXISTING R.O.W.
	EXISTING CARTWAY
	STREAM LINE
	EXISTING CENTER LINE
	EXISTING BOUNDARY LINE
	SOILS LINE
	EXISTING UNDERGROUND GAS LINE (ELECTRIC, PHONE, CABLE, ETC.)
	EXISTING CONCRETE MONUMENT
	EXISTING IRON PIN
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING INLET
	EXISTING SPOT ELEVATION
	EXISTING TREE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING TREE LINE
	EXISTING VEGETATION
	PROPOSED TREE LINE
	EXISTING INLET W/ STORM SEWER
	PROPOSED STORM SEWER W/ STRUCTURE NUMBER
	PROPOSED STORM MANHOLE W/ STRUCTURE NUMBER
	PROPOSED FLARED END SECTION W/STRUCTURE NUMBER
	PROPOSED UNDERGROUND UTILITIES (ELECTRIC, PHONE, CABLE, ETC.)
	PROPOSED SPLIT RAIL FENCE
	PROPOSED GUIDE RAIL
	PROPOSED SIGHT TRIANGLE
	PROPOSED WATER LATERAL
	PROPOSED FIRE SERVICE LATERAL
	PROPOSED SANITARY LATERAL W/ CLEANOUT
	TREE PROTECTION FENCE
	RIP-RAP APRON
	LOT NUMBER
	LIGHT POST
	STREET SIGN
	DO NOT ENTER SIGN
	SPEED LIMIT SIGN
	PEDESTRIAN CROSSING SIGN
	STOP SIGN 30"x30"
	NO PARKING SIGN
	NO PEDESTRIAN AND SIDEWALK CLOSED SIGN
	STOP BAR
	WETLANDS
	WATERS OF THE U.S.
	SANITARY MAIN AND MANHOLE W/ STRUCTURE NUMBER
	PROPOSED 12" WATERMAIN
	PROPOSED 6" WATERMAIN
	WETLAND BUFFER
	CROSSWALK IMPRINT
	PROPOSED R.O.W.



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REV.	DATE	DESCRIPTION
4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

**GRADING PLAN**  
**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

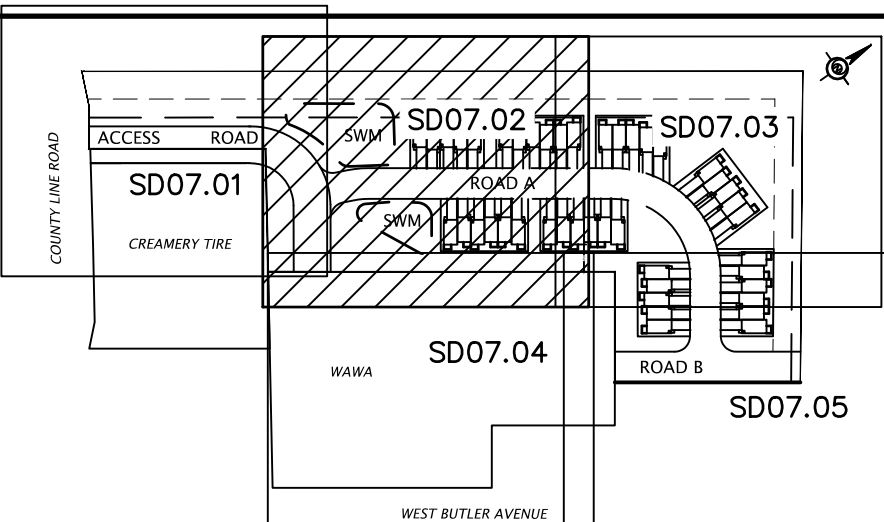
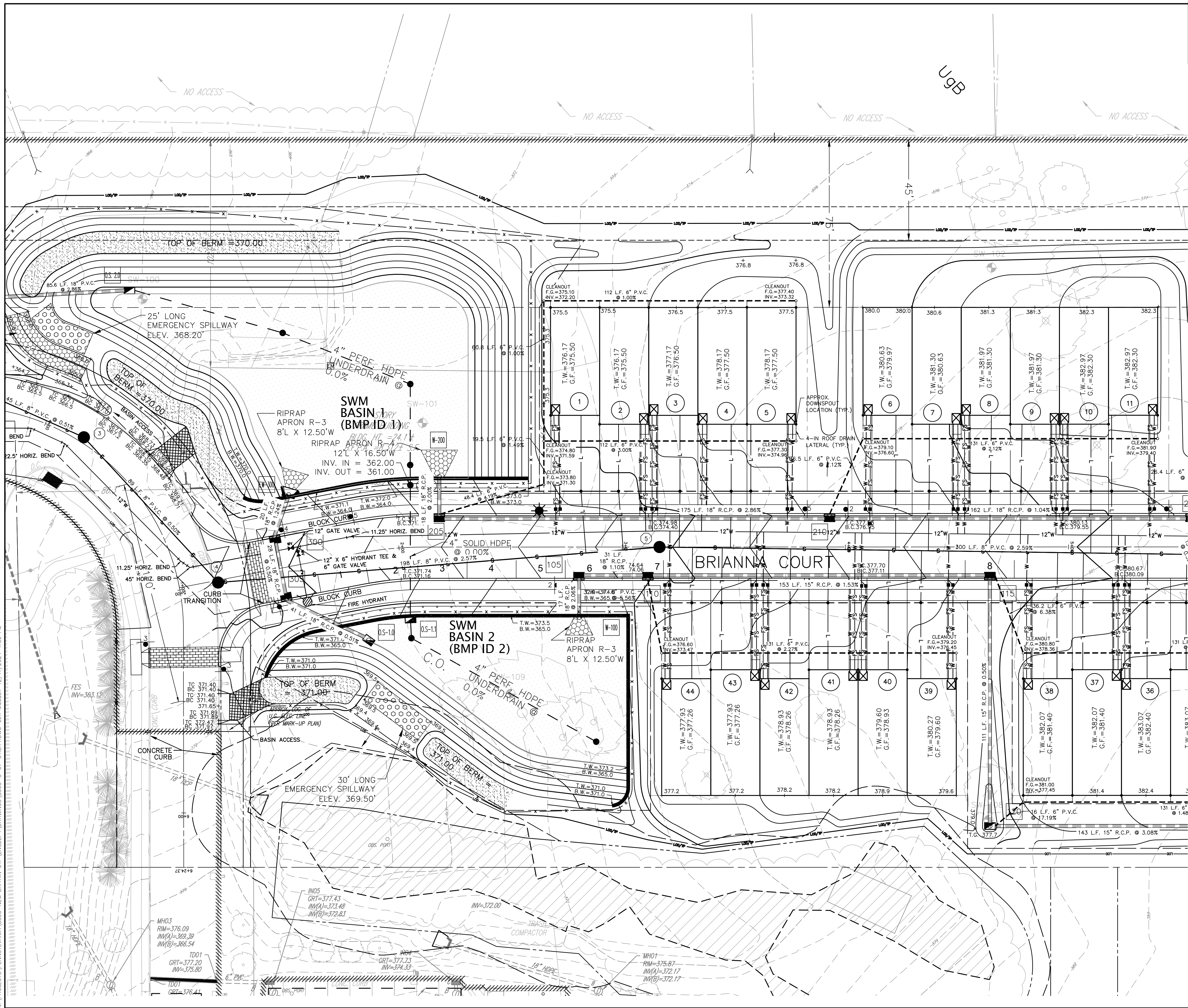
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JOB NO.:	8363	FILE NAME:	8363-S-05-GRADE
REF. NO.:			
SHEET NO.:	15	OF	43







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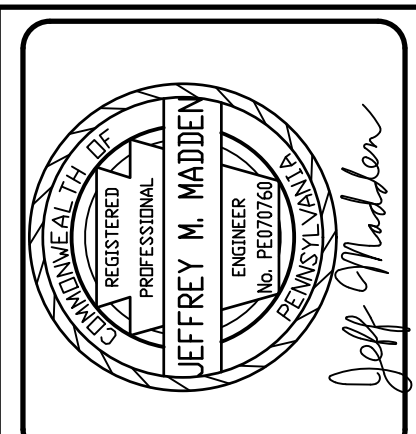
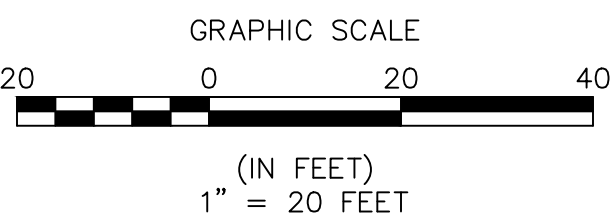


NOTES:

1. THE PROJECT IS LOCATED IN THE MONTGOMERY HIGH PRESSURE ZONE AND THEREFORE A PRESSURE REDUCING VALVE WILL BE REQUIRED FOR EACH UNIT.
2. THE PIPE LENGTHS ARE TAKEN FROM CENTER OF STRUCTURE.
3. ALL CURB STOPS (LESS THAN 3-FT FROM A DRIVEWAY) MUST BE RECESSED WITHIN A VALVE BOX, AND RESTING ON A CONCRETE COLLAR. THE TOP OF CURB BOX SHALL BE SET BELOW THE BOTTOM OF THE VALVE BOX LID WITH A GAP.

LEGEND

- EXISTING DIRT/GRAVEL ROAD
- EXISTING R.O.W.
- EXISTING CARTWAY
- STREAM LINE
- EXISTING CENTER LINE
- EXISTING BOUNDARY LINE
- SOILS LINE
- EXISTING OVERHEAD UTILITY
- EXISTING OVERHEAD UTILITY (ELECTRIC, PHONE, CABLE, ETC.)
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING INLET
- EXISTING TREE
- EXISTING TREE LINE
- EXISTING VEGETATION
- PROPOSED TREE LINE
- EXISTING INLET W/ STORM SEWER
- PROPOSED R.O.W.
- PROPOSED STORM SEWER W/ STRUCTURE NUMBER
- PROPOSED STORM MANHOLE W/ STRUCTURE NUMBER
- PROPOSED FLARED END SECTION W/STRUCTURE NUMBER
- PROPOSED UNDERGROUND UTILITIES (ELECTRIC, PHONE, CABLE, ETC.)
- PROPOSED SPLIT RAIL FENCE
- PROPOSED WATER LATERAL
- PROPOSED FIRE SERVICE LATERAL
- PROPOSED SANITARY LATERAL w/ CLEANOUT
- PROPOSED ROOF LEADER LATERAL w/ DOWNSPOUT LOCATION
- PROPOSED ROOF LEADER COLLECTOR w/ CLEANOUT
- LOT NUMBER
- WETLANDS
- WATERS OF THE U.S.
- SANITARY MAIN AND MANHOLE w/ STRUCTURE NUMBER
- PROPOSED 12" WATERMAIN



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2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

UTILITY PLAN

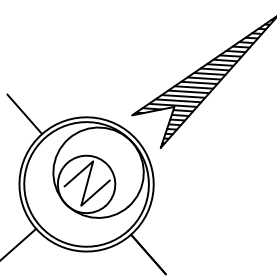
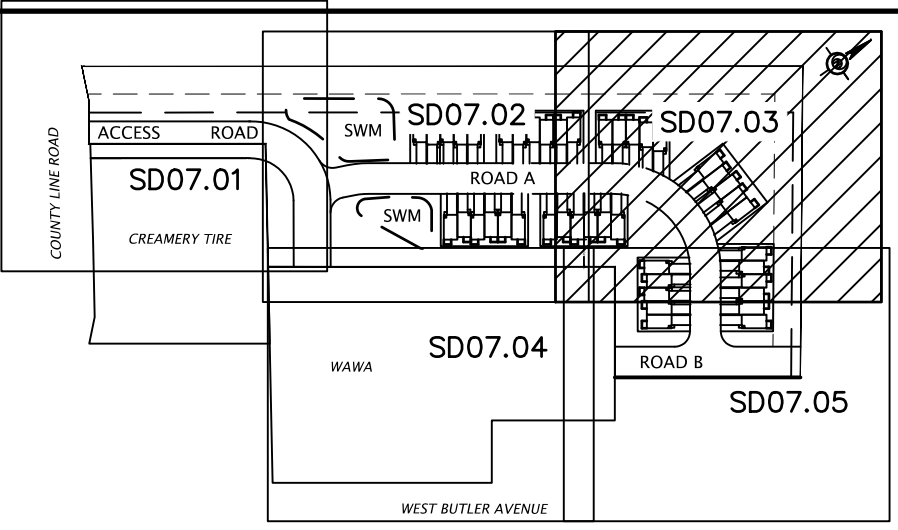
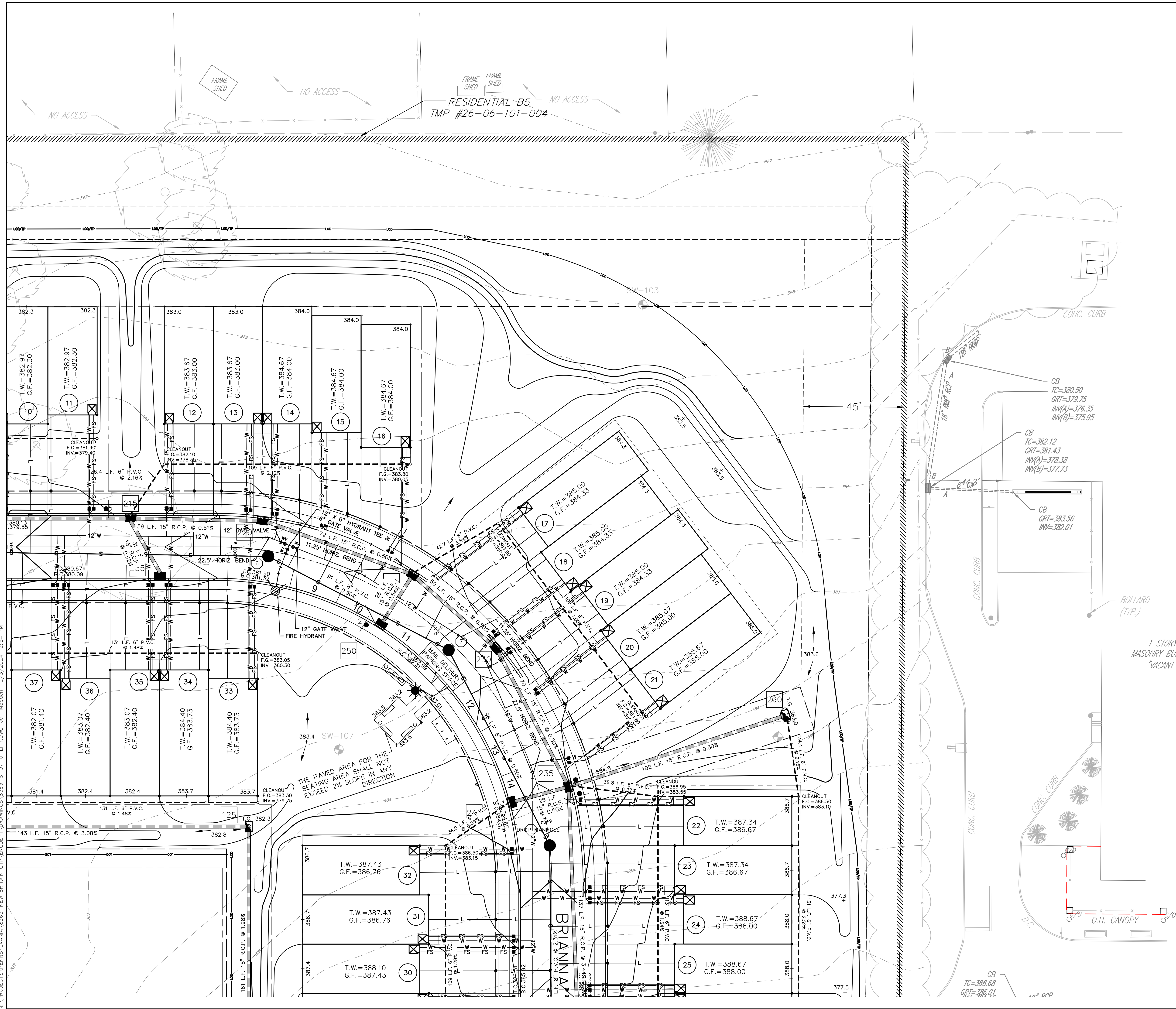
BIRCH RUN AT NEW BRITAIN

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:	10/6/23	SCALE:	1"=20'
DESIGN:	JMM	DRAWN:	EJS
JOB NO.:	8363	FILE NAME:	8363-S-07-UTILITY
REF. NO.:			
SHEET NO.:	17	OF	43



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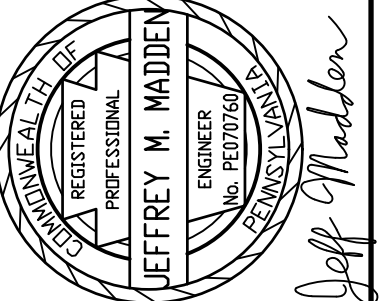
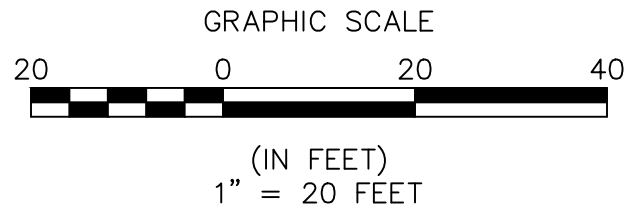


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- EXISTING BOUNDARY LINE
- SOILS LINE
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- EXISTING INLET
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- EXISTING TREE LINE
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- PROPOSED SPLIT RAIL FENCE
- PROPOSED WATER LATERAL
- PROPOSED FIRE SERVICE LATERAL
- PROPOSED SANITARY LATERAL W/ CLEANOUT
- PROPOSED ROOF LEADER LATERAL W/ DOWNSPOUT LOCATION
- PROPOSED ROOF LEADER COLLECTOR W/ CLEANOUT
- LOT NUMBER
- WETLANDS
- WATERS OF THE U.S.
- SANITARY MAIN AND MANHOLE W/ STRUCTURE NUMBER
- PROPOSED 12" WATERMAIN



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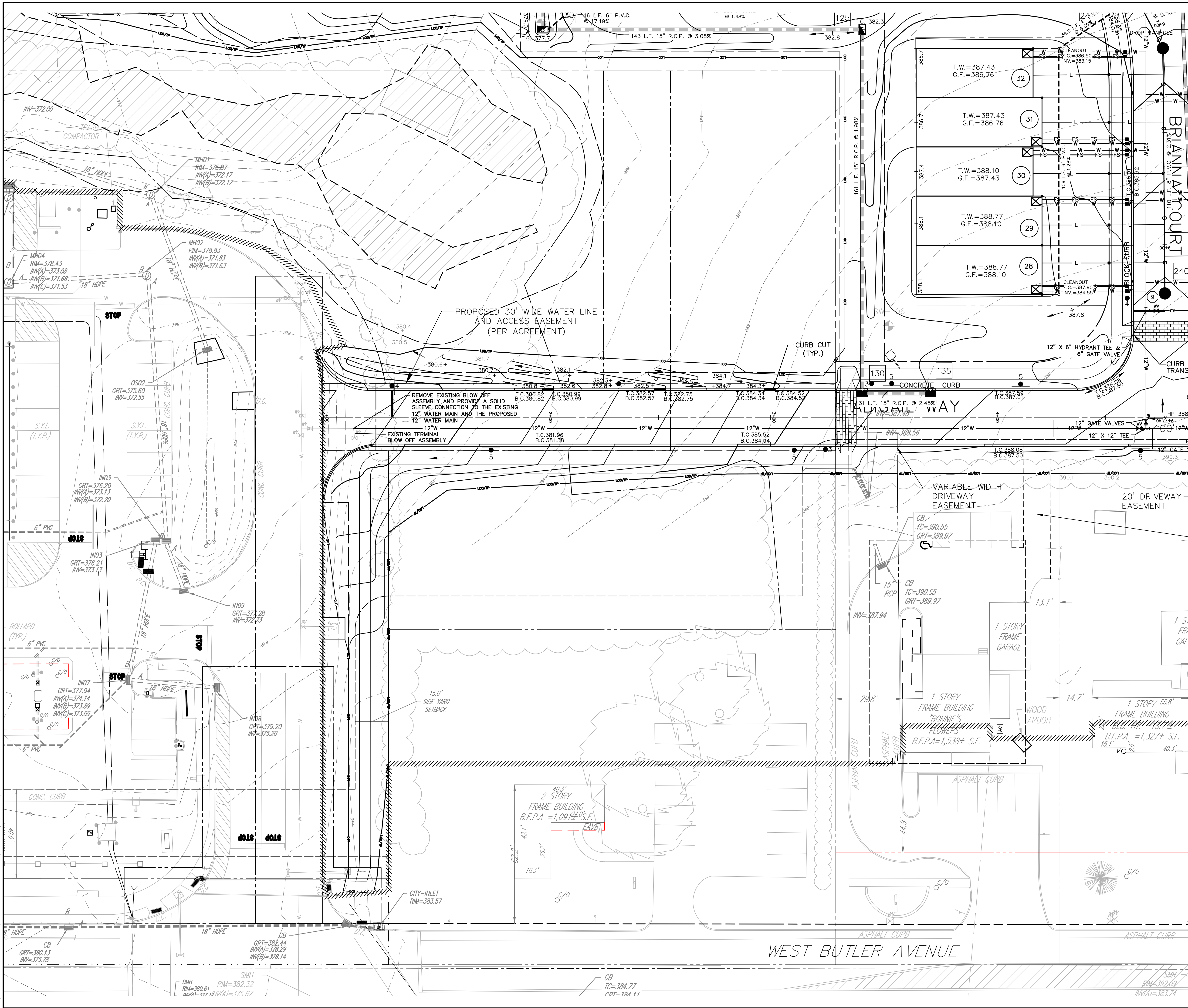
UTILITY PLAN

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:	10/6/23	SCALE:	1"=20'
DESIGN:	JMM	DRAWN:	EJS
JOB NO.:	8363	FILE NAME:	8363-S-07-UTILITY
REF. NO.:			
SHEET NO.:	18	OF	43

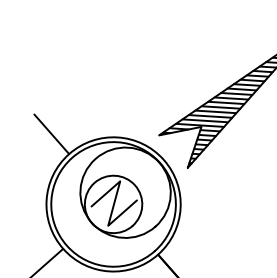
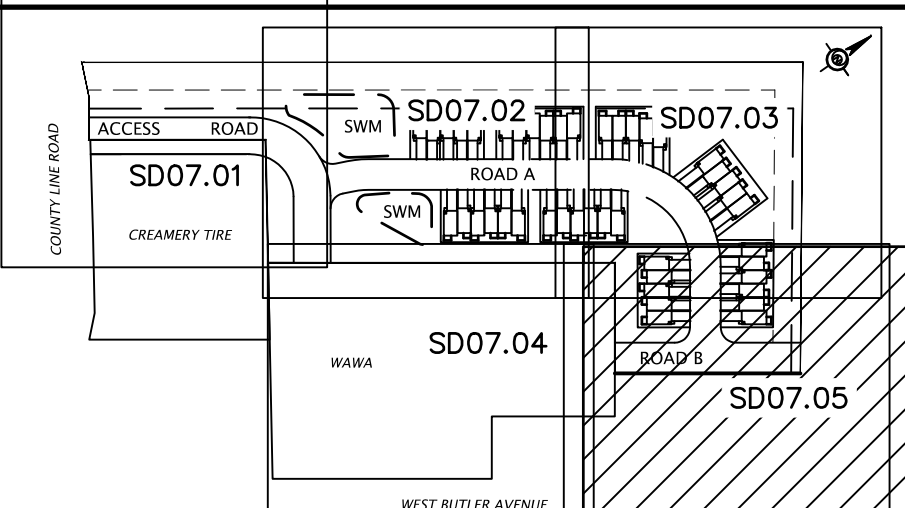
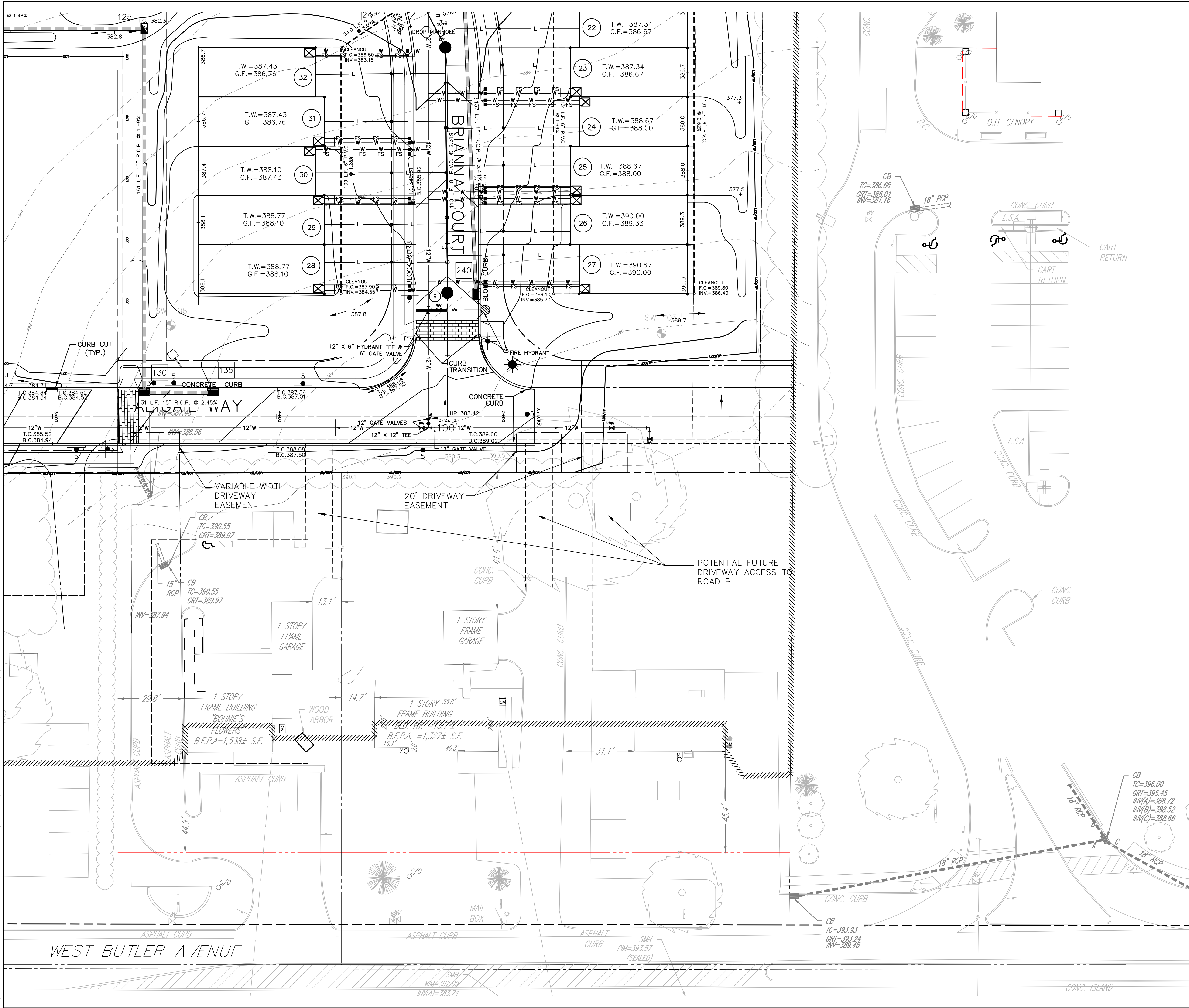


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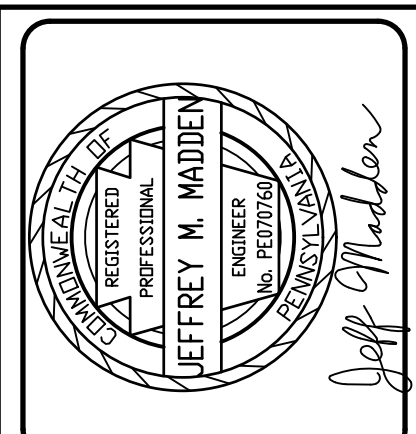
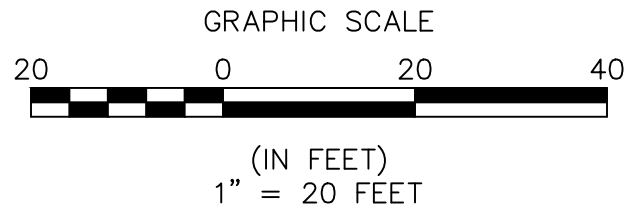


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4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

UTILITY PLAN

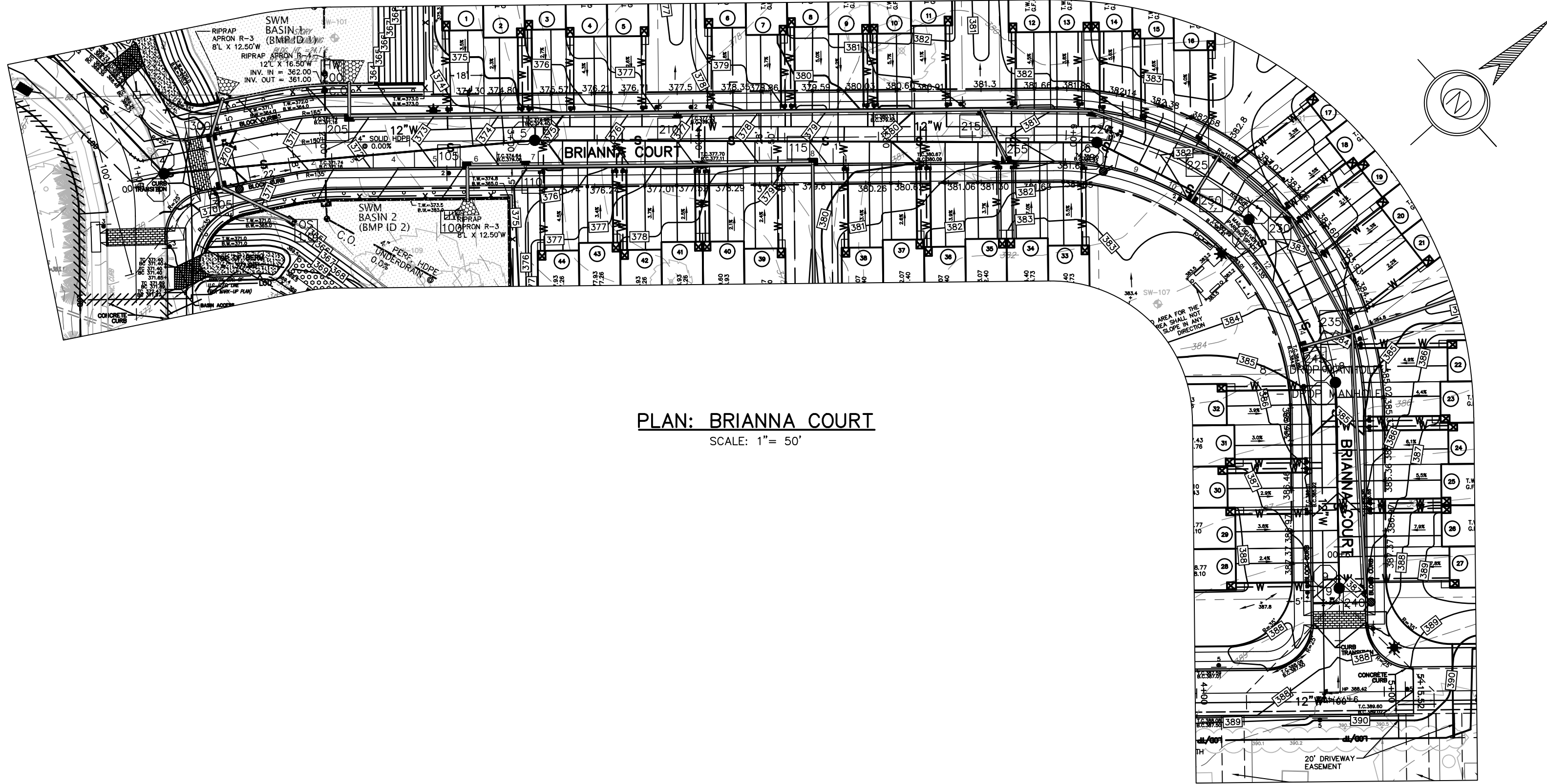
BIRCH RUN AT NEW BRITAIN

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

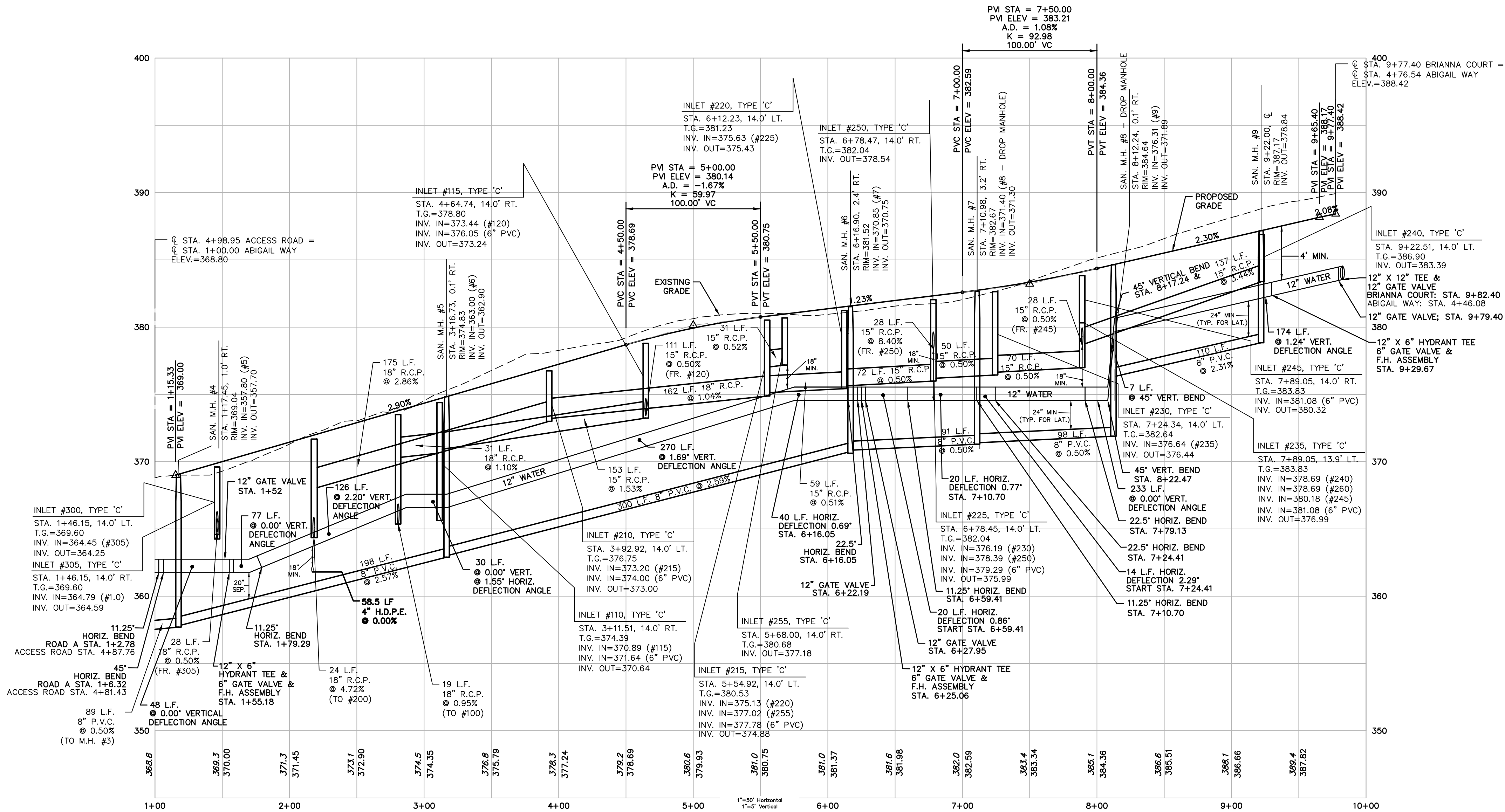
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JOB NO.:	8363	FILE NAME:	8363-S-07-UTILITY
REF. NO.:			
SHEET NO.:	20	OF	43



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PLAN: BRIANNA COURT  
SCALE: 1" = 50'



PROFILE: BRIANNA COURT

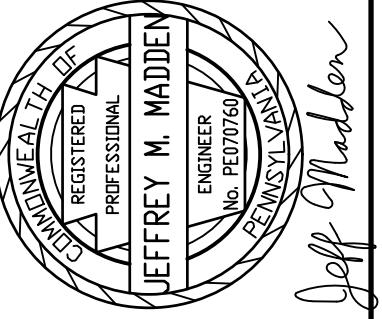
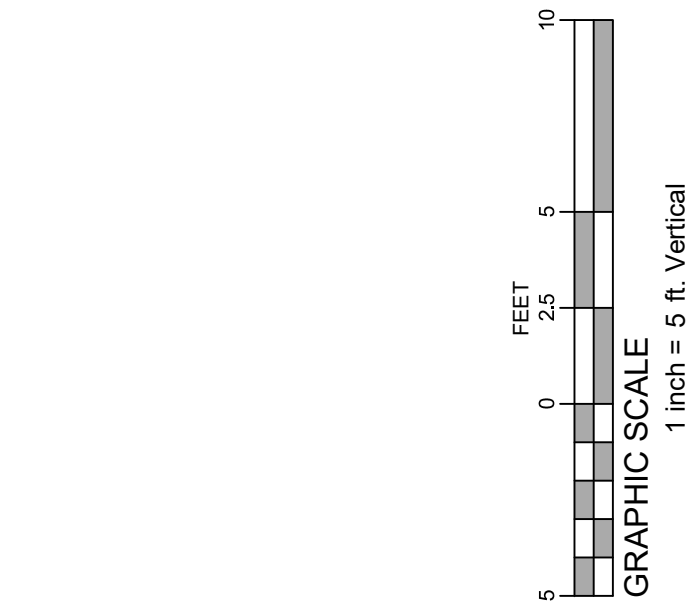
1"=50' Horizontal  
1"=5' Vertical

Lot	WATER LATERAL STATION	Lot	WATER LATERAL STATION
1	2+69.42	23	8+32.89
2	3+10.57	24	8+35.89
3	3+13.57	25	8+76.89
4	3+35.55	26	8+80.22
5	3+73.95	27	9+17.12
6	4+10.90	28	9+20.92
7	4+50.54	29	8+81.92
8	4+53.43	30	8+57.92
9	4+94.33	31	8+54.92
10	4+97.43	32	8+13.08
11	5+36.33	33	6+08.36
12	5+70.93	34	5+72.98
13	6+06.05	35	5+62.98
14	6+18.40	36	5+25.34
15	6+41.38	37	5+22.34
16	6+65.50	38	4+81.66
17	6+87.73	39	4+46.34
18	7+21.02	40	4+07.34
19	7+28.18	41	4+04.34
20	7+47.31	42	3+63.34
21	7+75.41	43	3+60.34
22	7+91.49	44	3+21.34

Lot	SEWER LATERAL STATION	Lot	SEWER LATERAL STATION
1	2+83.79	23	8+20.19
2	3+00.49	24	8+48.49
3	3+25.56	25	8+65.01
4	3+47.90	26	8+94.70
5	3+57.30	27	9+05.29
6	4+22.51	28	9+08.26
7	4+37.19	29	8+91.16
8	4+64.61	30	8+68.26
9	4+78.38	31	8+45.26
10	5+09.97	32	5+98.63
11	5+19.31	33	5+98.63
12	5+82.91	34	5+85.99
13	5+95.08	35	5+52.99
14	6+28.19	36	5+35.50
15	6+43.69	37	5+06.67
16	6+56.75	38	4+95.13
17	6+98.17	39	4+36.52
18	7+05.45	40	4+19.52
19	7+34.67	41	3+92.52
20	7+57.82	42	3+75.53
21	7+67.42	43	3+48.53
22	8+06.59	44	3+31.54

NOTES:

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PLAN AND PROFILE  
BRIANNA COURT STA. 1+00 TO 9+77.40

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

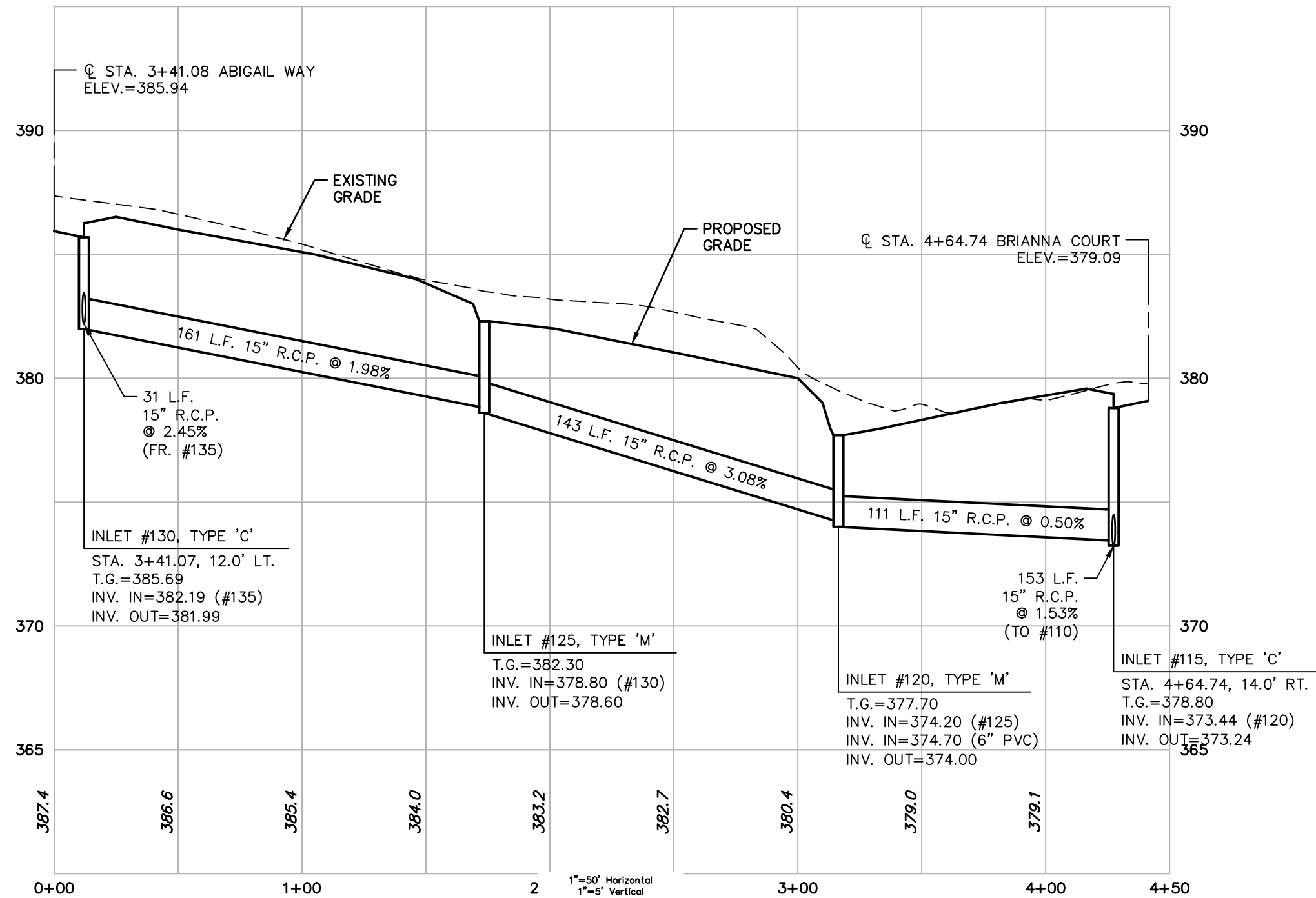
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JOB NO.:	8363	FILE NAME:	8363-S-08-PROF
REF. NO.:	SD08.01		
SHEET NO.:	21	OF	43





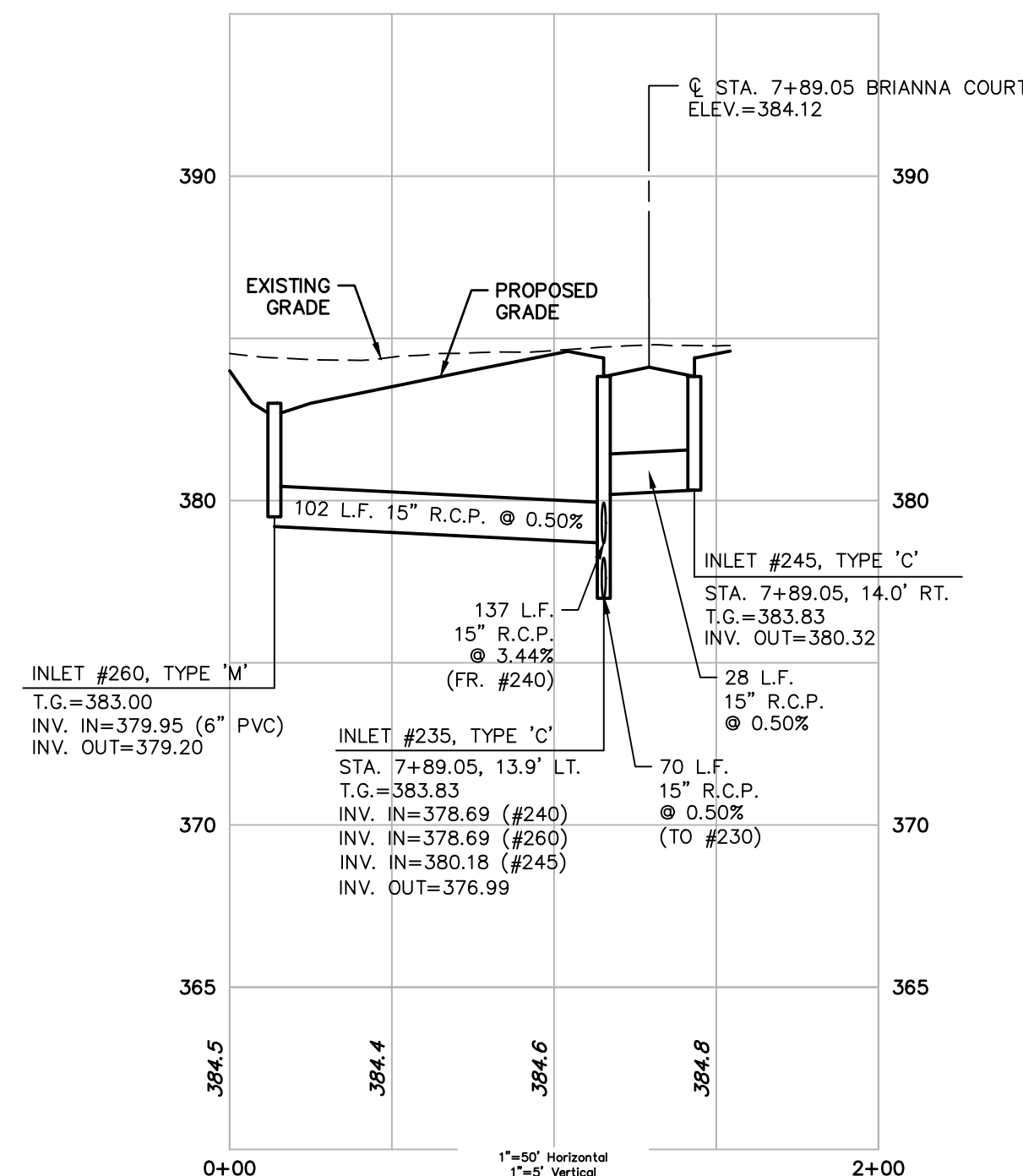


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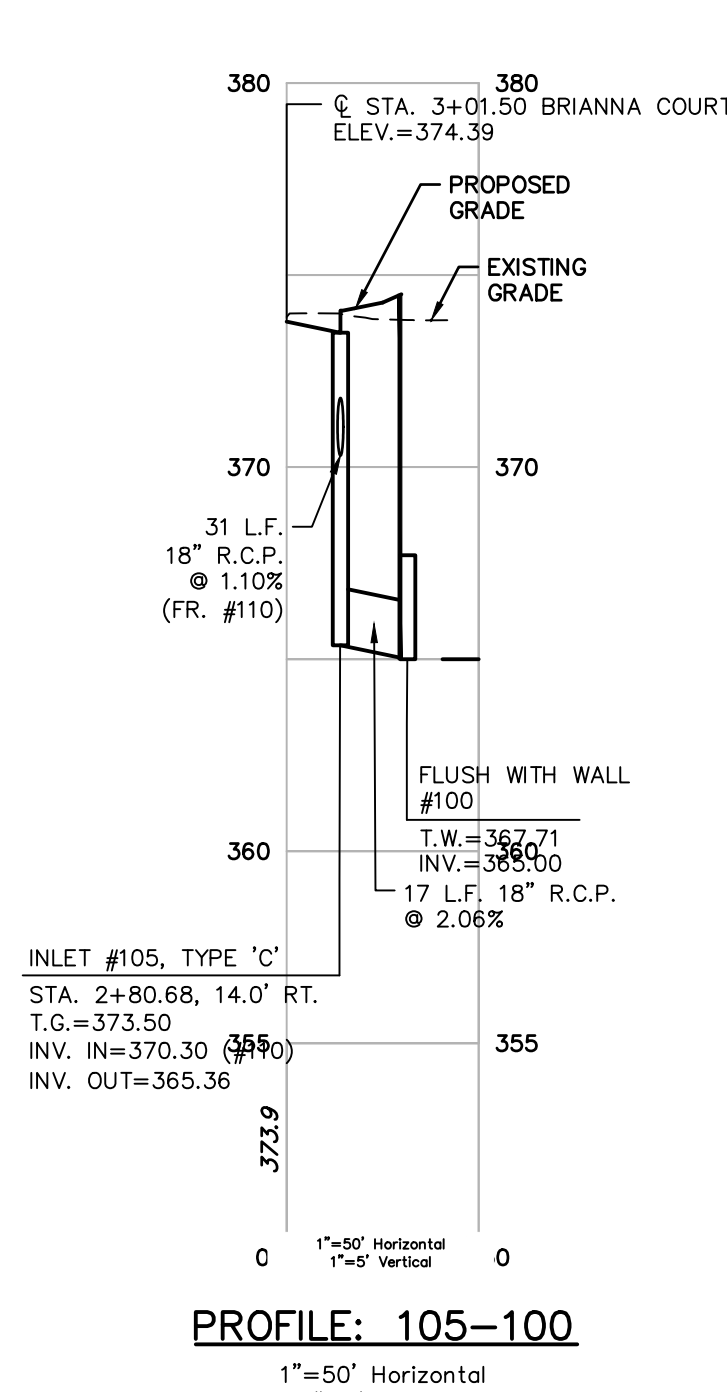
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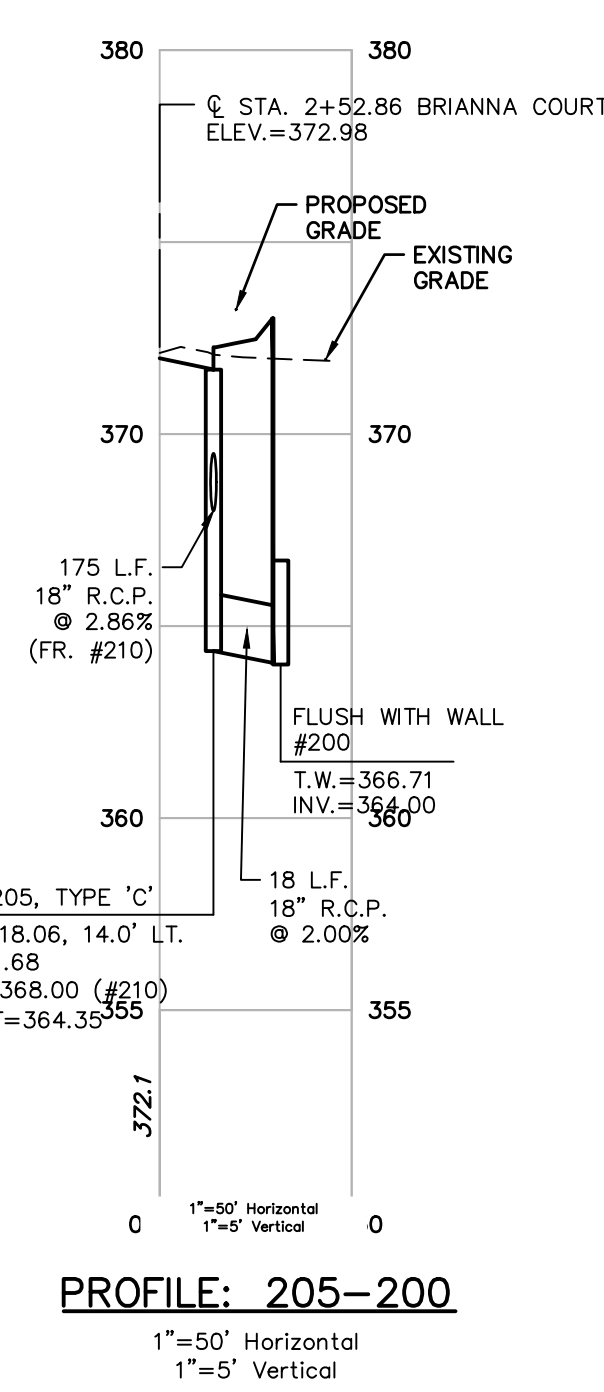
PROFILE: 260-245

1"=50' Horizontal  
1"=5' Vertical



PROFILE: 105-100

1"=50' Horizontal  
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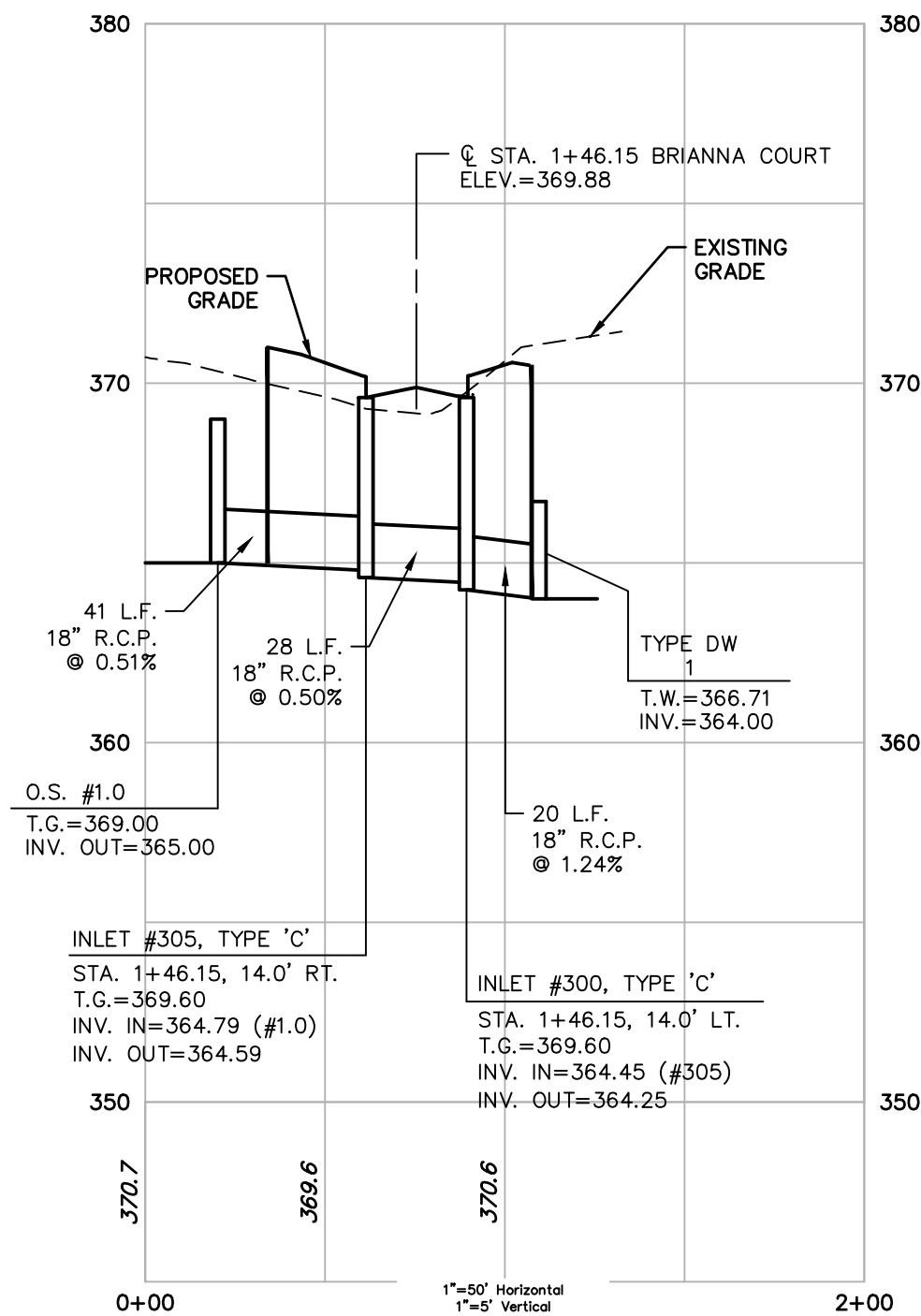
PROFILE: 205-200

1"=50' Horizontal  
1"=5' Vertical

BIRCH RUN AT NEW BRITAIN MATERIALS LIST				
ITEM	STOCK #	DESCRIPTION	UNIT	QUANTITY
1	120.001	12" TOP CLASS 52 (107 LENGTHS)	LF	2128
2	060.001	6" TOP CLASS 52 (4 LENGTHS)	LF	67
3	120.000	12" GATE VALVE	EA	9
4	060.000	6" GATE VALVE	EA	3
5	120.004	12" TEE - MJ	EA	2
6	120.009	12" x 6" HYDRANT TEE	EA	3
7	120.012	12" 45° BEND - MJ	EA	9
8	120.013	12" 22.5° BEND - MJ	EA	5
9	120.014	12" 11.25° BEND - MJ	EA	4
10	120.010	12" SOLID SLEEVE	EA	2
11	120.044	12" CAP W/ 2" TAP	EA	1
12	060.012	6" 45° BEND - MJ	EA	2
13	999.012	2" TERMINAL BLOWOFF ASSEMBLY	EA	1
14	003.001	FIRE HYDRANT 6" BURY	EA	2
15	003.002	FIRE HYDRANT 6" BURY	EA	1
16	003.011	12" B-84 HYDRANT EXTENSION	EA	1
17	120.034	12" MEGALUG	EA	73
18	060.034	6" MEGALUG	EA	13
19	120.033	12" FIELD LOK GASKETS	EA	39
20	003.037	VALVE BOX LIDS	EA	100
21	003.038	24" VALVE BOX TOPS	EA	100
22	003.039	VALVE BOX BOTTOMS	EA	12
23	003.044	18" VALVE BOX EXTENSION	EA	10
24	003.045	24" VALVE BOX EXTENSION	EA	3
25	010.002	1" CORPORATION - COMPRESSION	EA	44
26	010.006	1" CURB STOP - COMPRESSION	EA	88
27	010.011	1" FIRELINE "Y" BRANCH	EA	44
28	002.001	3' - 4" CURB BOX	EA	88

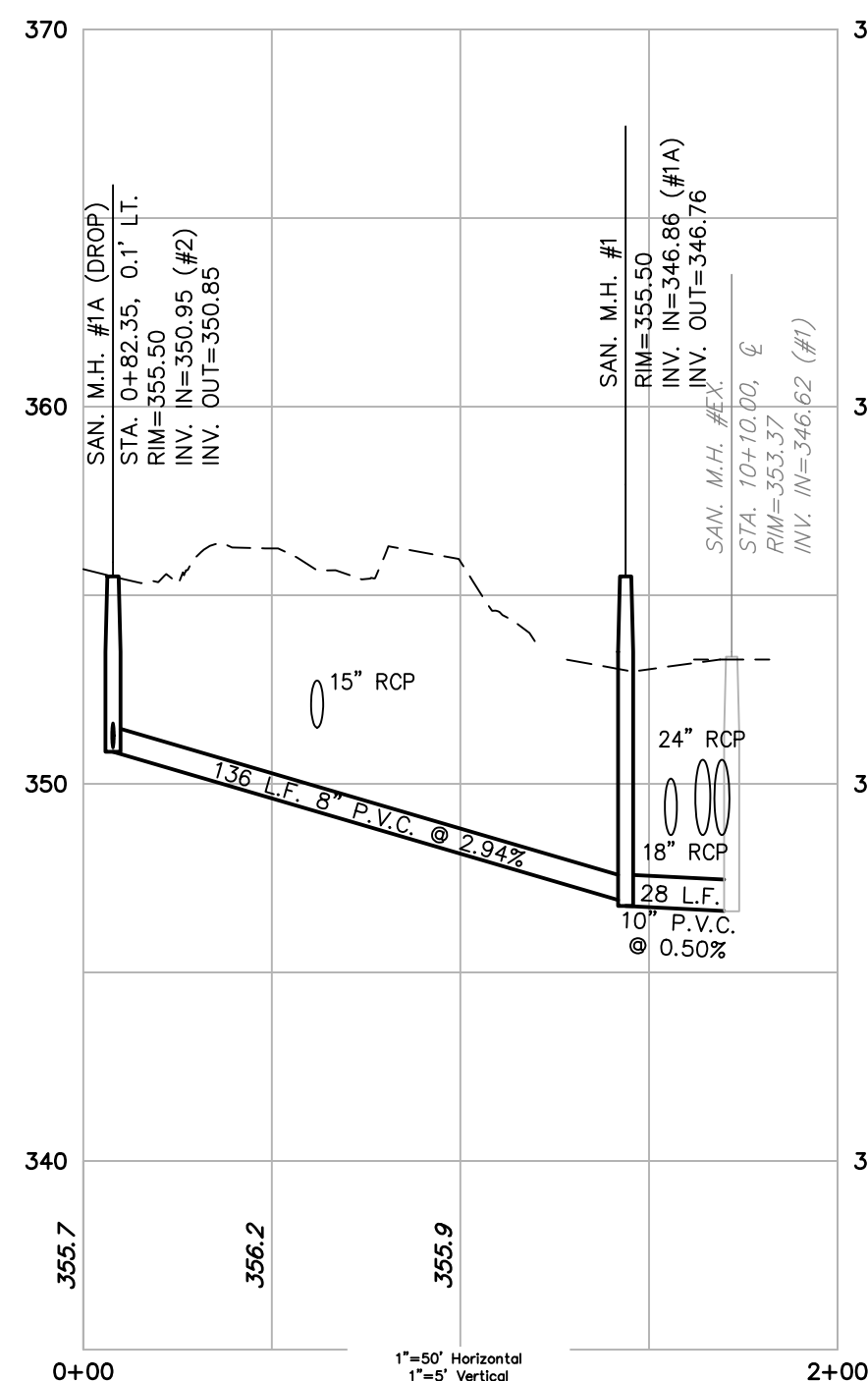
Valve box lids and valve box tops include 88 for curb boxes that are within 3 feet of driveways.

NWWA will supply all piping and appurtenances except for the copper service lines. However, due to supply chain issues, delivery dates cannot be guaranteed. If the developer wishes to supply the materials, their contractor must also include all material costs in their written bid estimate and must first provide submittals of all materials to NWWA for approval.



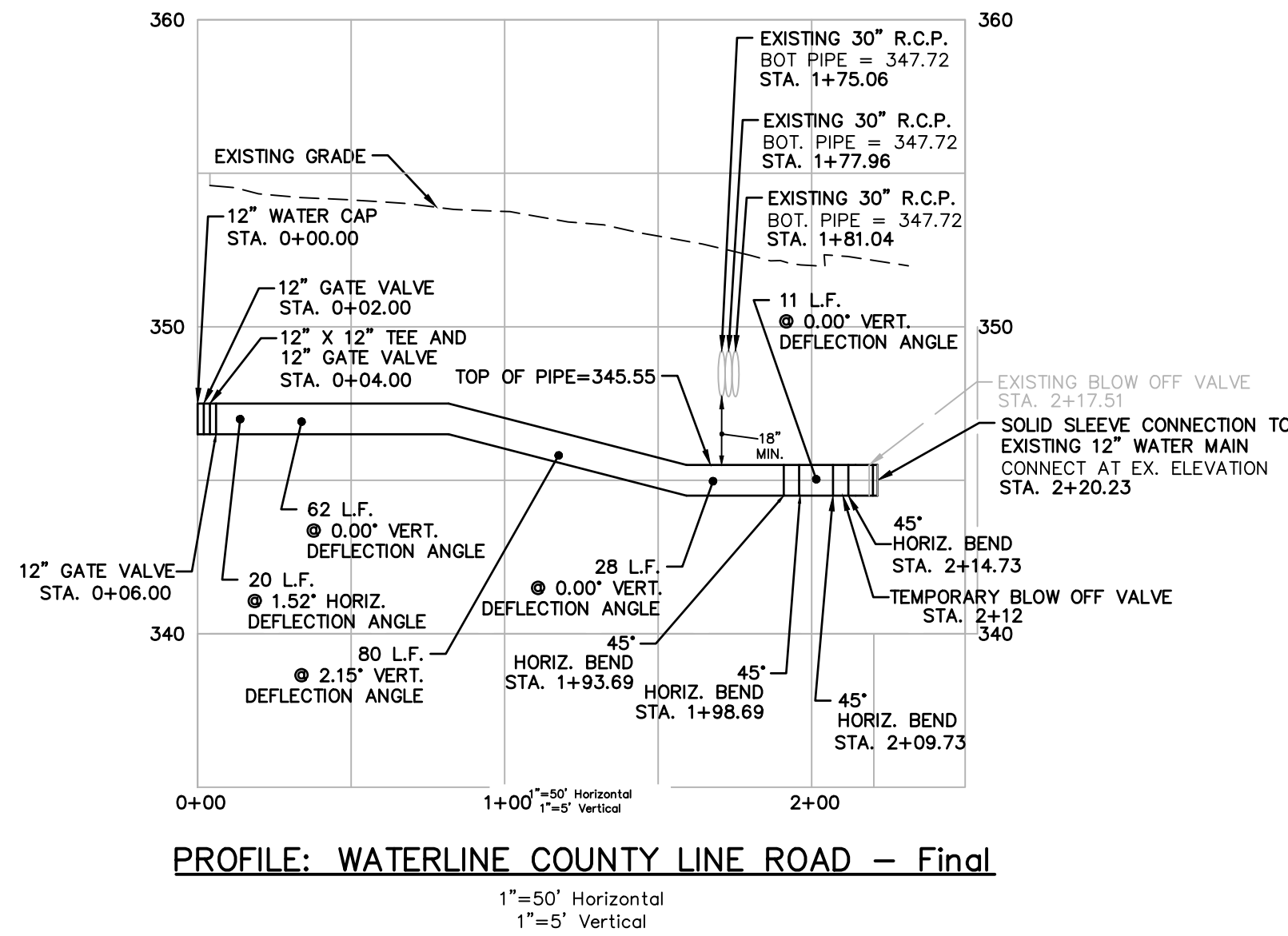
PROFILE: OS1.0-FES1.0

1"=50' Horizontal  
1"=5' Vertical



PROFILE: SAN 1A TO EX

1"=50' Horizontal  
1"=5' Vertical

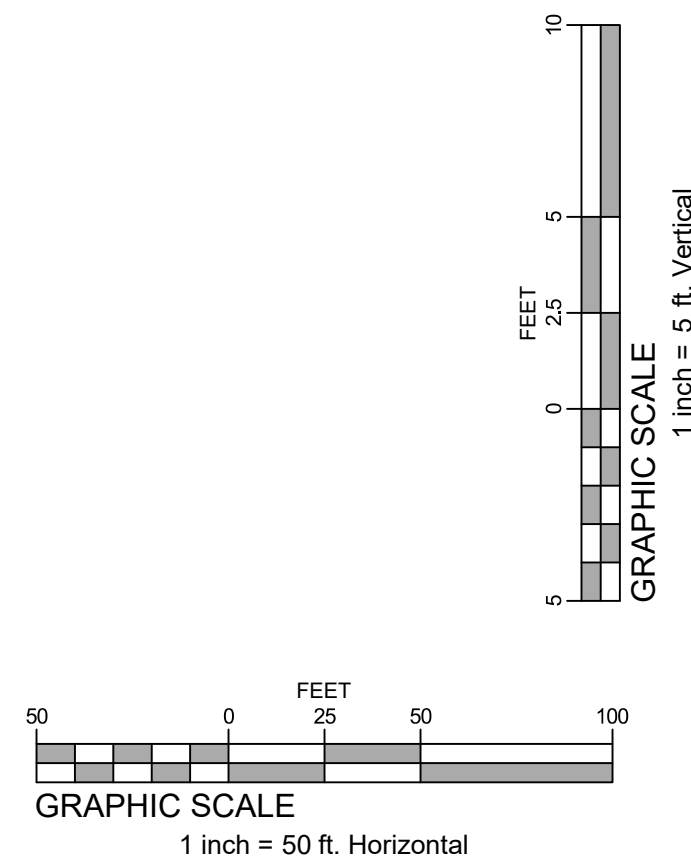


PROFILE: WATERLINE COUNTY LINE ROAD - Final

1"=50' Horizontal  
1"=5' Vertical

NOTES:

- THE PROJECT IS LOCATED IN THE MONTGOMERY HIGH PRESSURE ZONE AND THEREFORE A PRESSURE REDUCING VALVE WILL BE REQUIRED FOR EACH UNIT.
- THE PIPE LENGTHS ARE TAKEN FROM CENTER OF STRUCTURE.



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EASEMENT PROFILES

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:	10/6/23	SCALE:	AS NOTED
DESIGN:	JMM	DRAWN:	EJS
JOB NO.:	8363	FILE NAME:	8363-S-08-PROF
REF. NO.:	SD08.03		
SHEET NO.:	23	OF	43











REV.	DATE	DESCRIPTION
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100 0 50 100 200

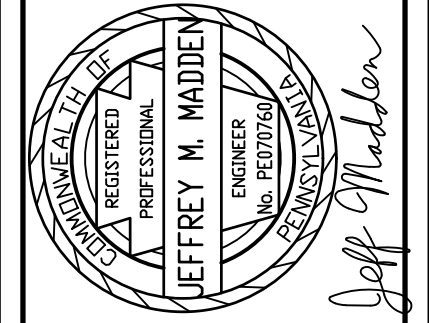
FEET

GRAPHIC SCALE 1 inch = 100 ft.

[illegible]

<h2 style="margin: 0;">CONSTRUCTION DETAILS</h2> <h2 style="margin: 0;">VEHICLE CIRCULATION PLAN</h2>		<h1 style="margin: 0;">BIRCH RUN AT NEW BRITAIN</h1> <p style="margin: 0;">NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA</p>	
DATE: 10/6/23	SCALE: AS NOTED	DESIGN: JMM	DRAWN: EJS
JOB NO.: 8363	FILE NAME: 8363-S-09-DETAL-CONST		
REF. NO.: <b>SD09.04</b>			
SHEET NO.: <b>27</b> OF <b>43</b>			

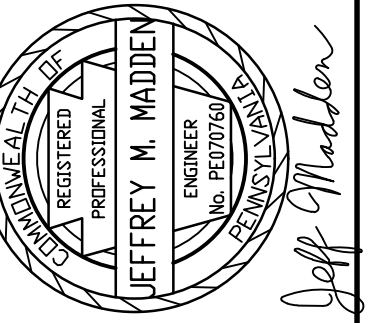
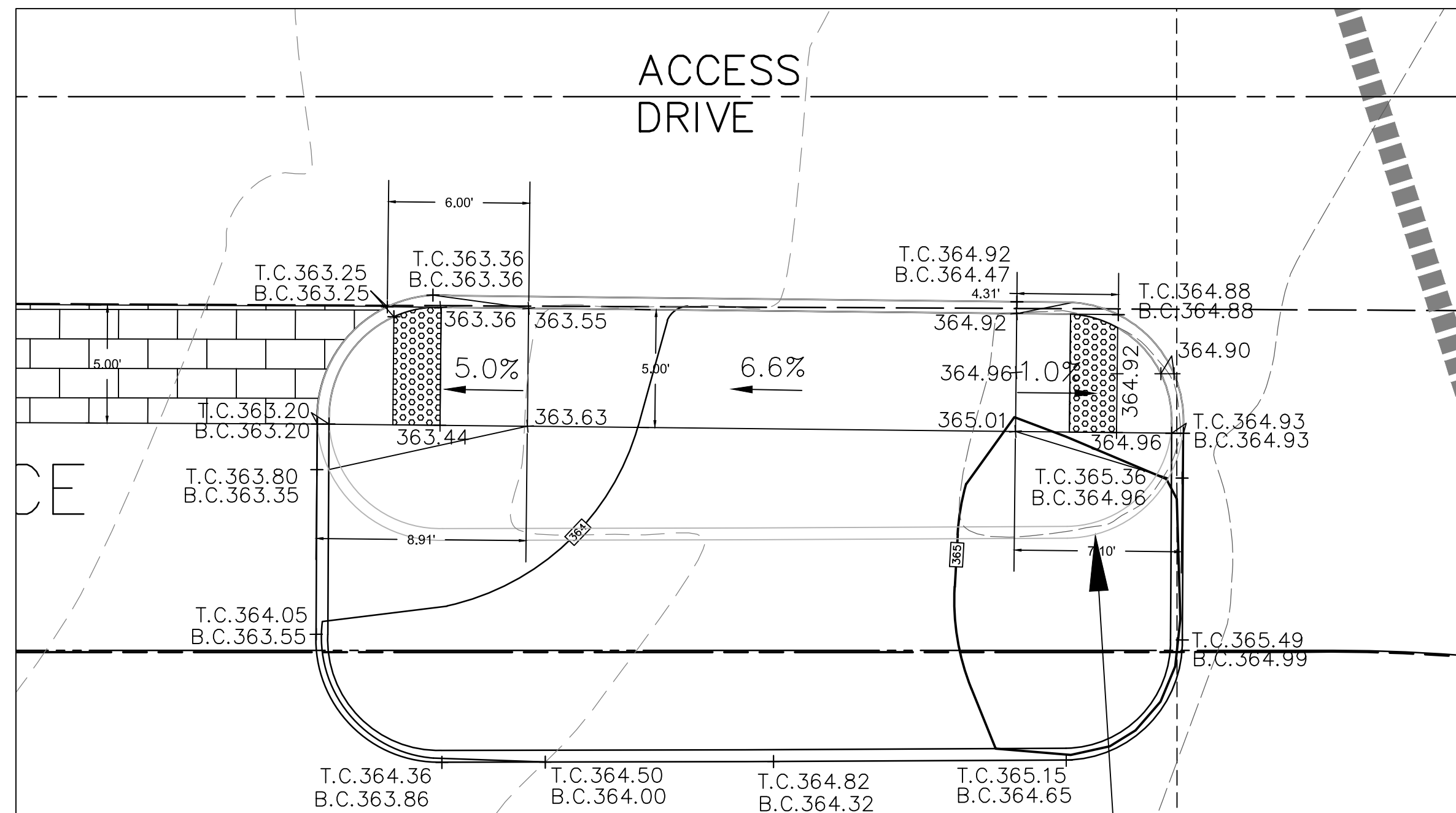
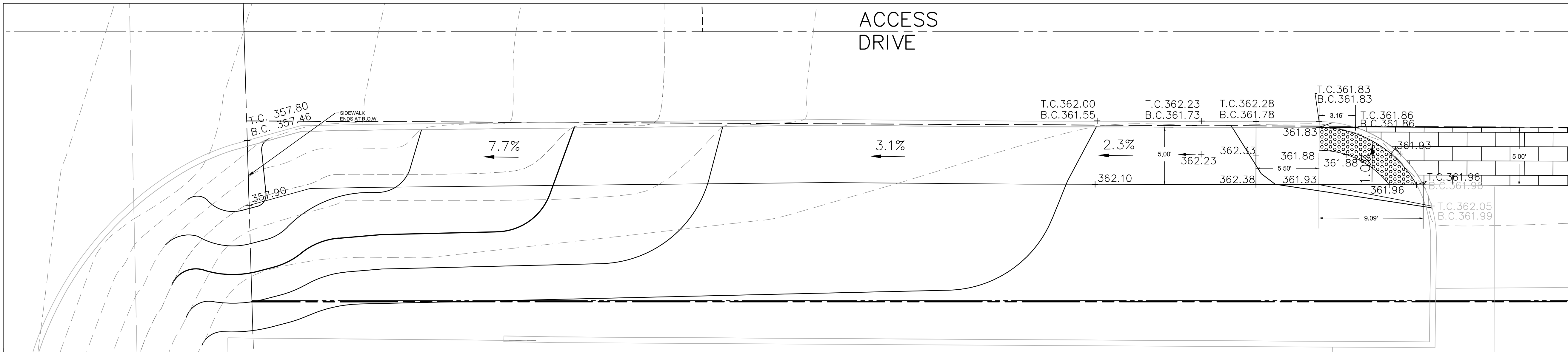
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## CONSTRUCTION DETAILS

### ADA HANICAP RAMP GRADING

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE:  
10/6/23

DESIGN:  
JMM

JOB NO.:  
8363

REF. NO.: SD

SHEET NO.: **28A**

SCALE:  
1" = 5'

DRAWN:  
LJP

FILE NAME:  
BLS-0-NUM-COST-WAGE-HAND-BOOK

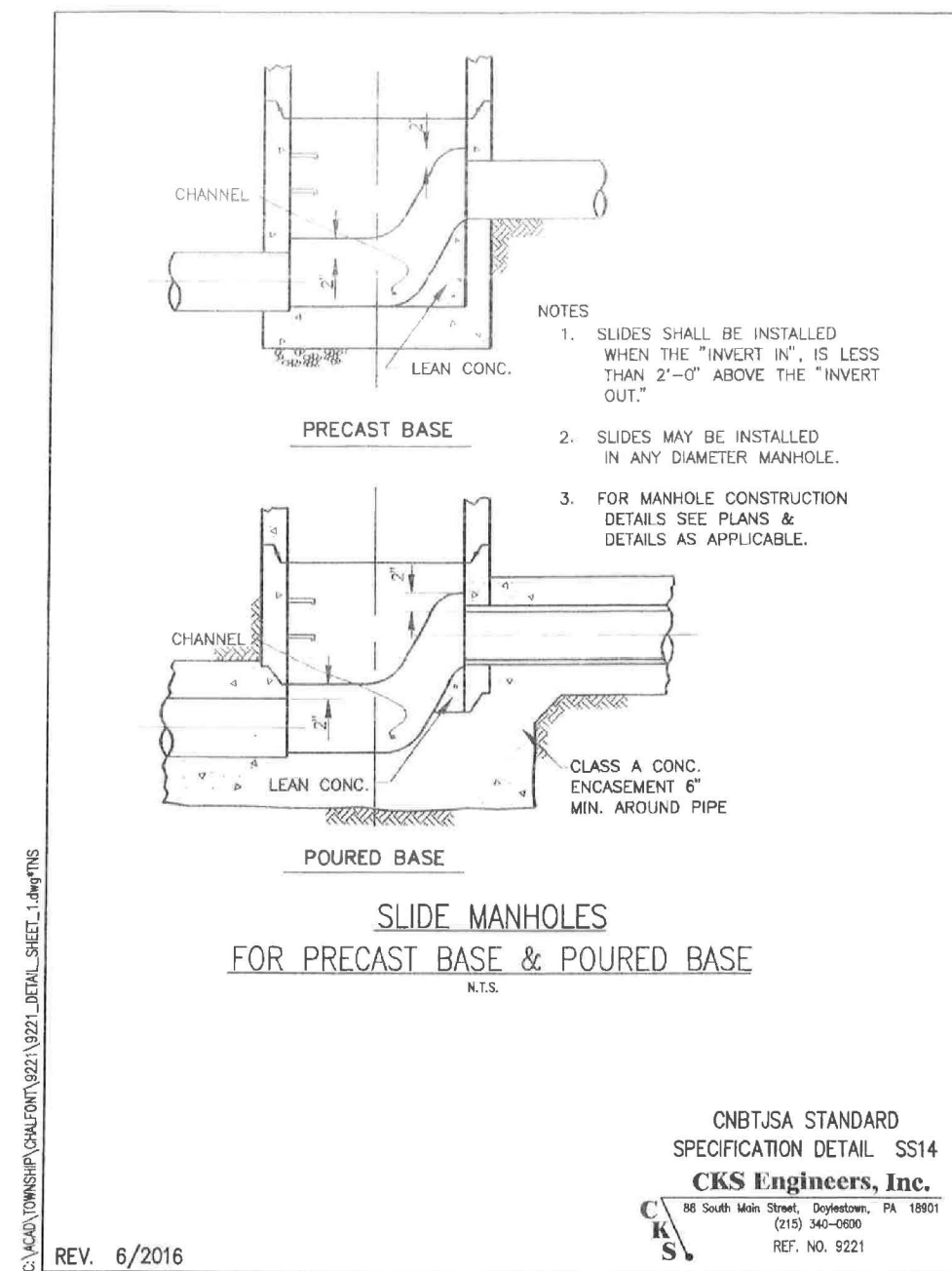
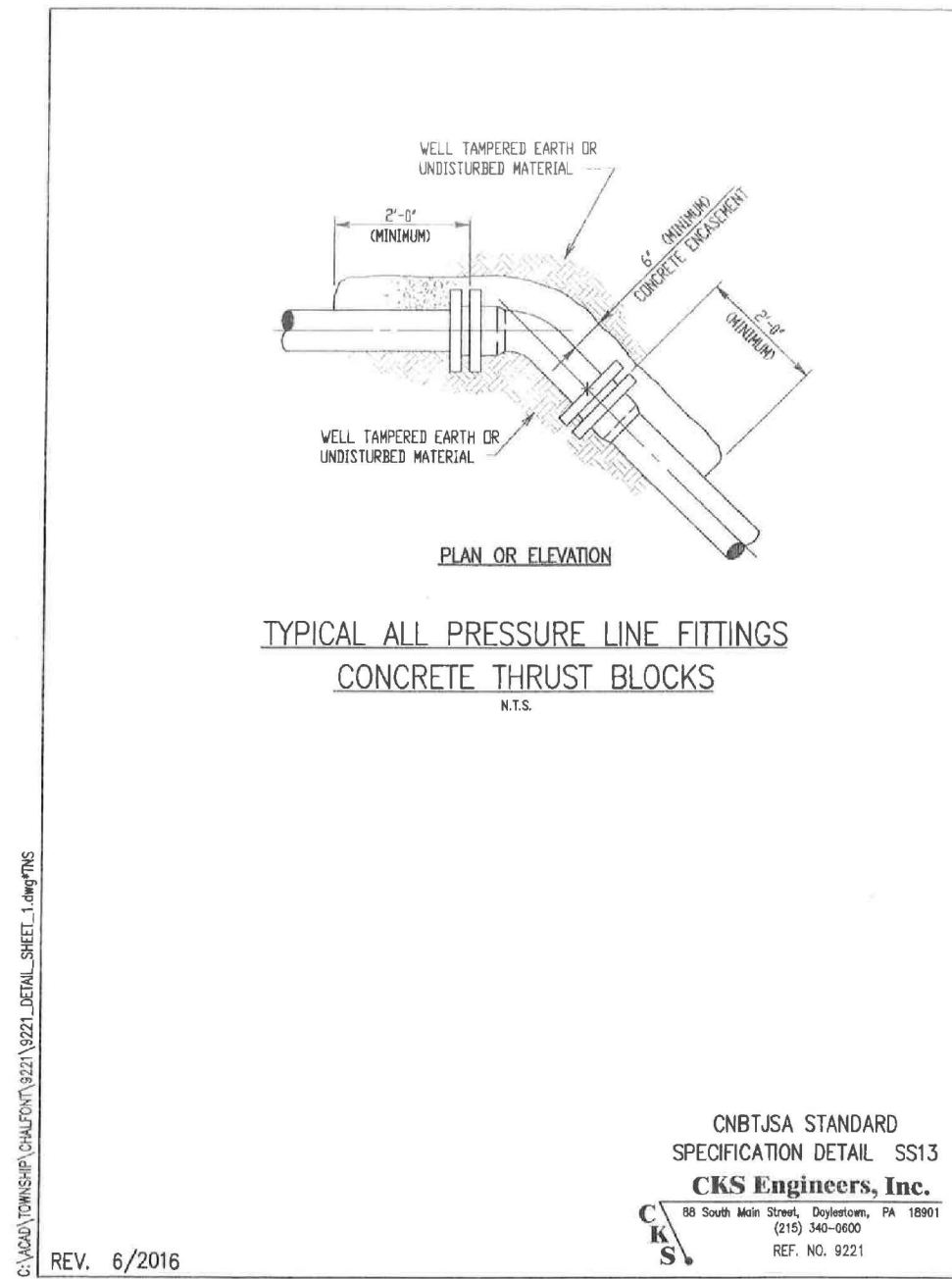
09.06

OF **43**







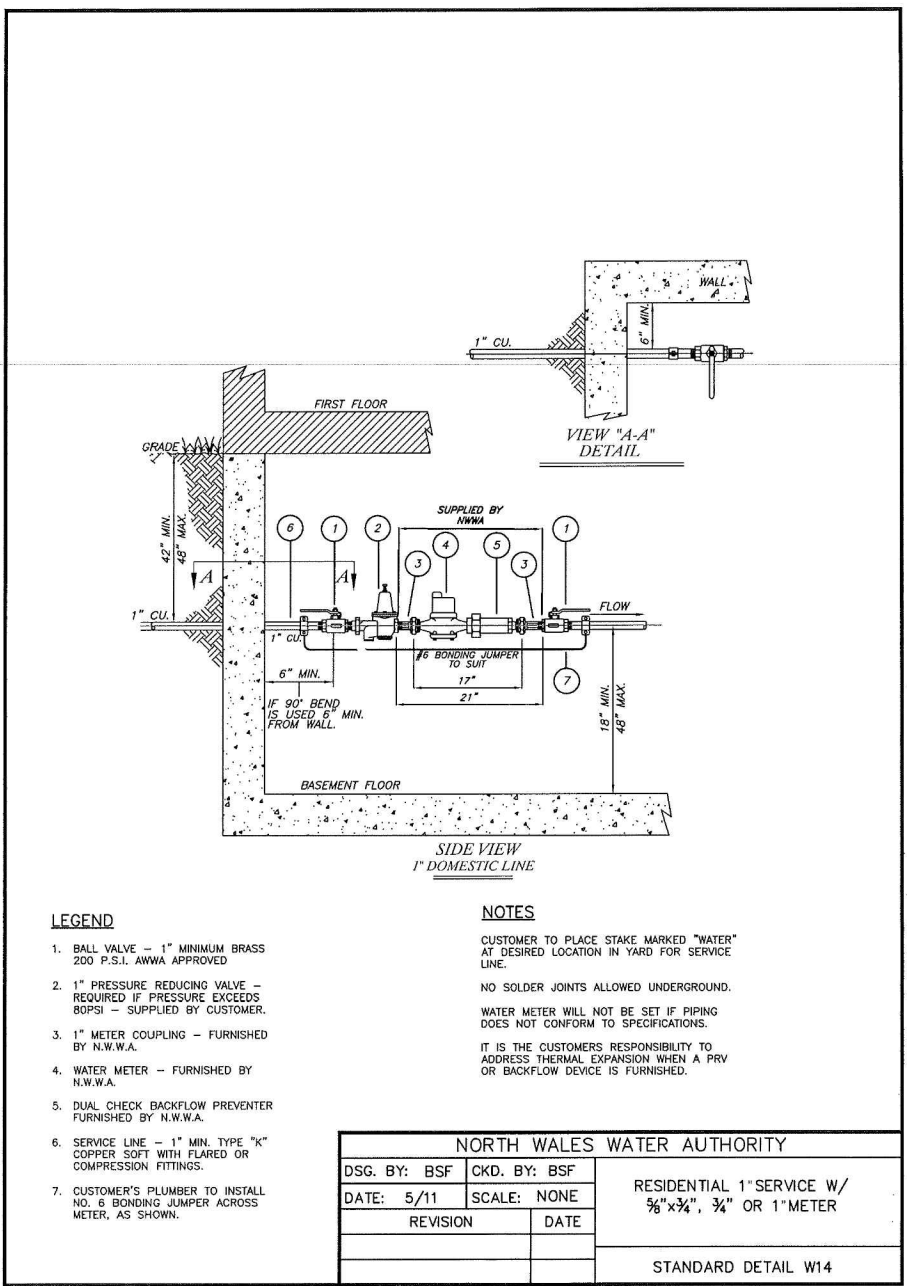
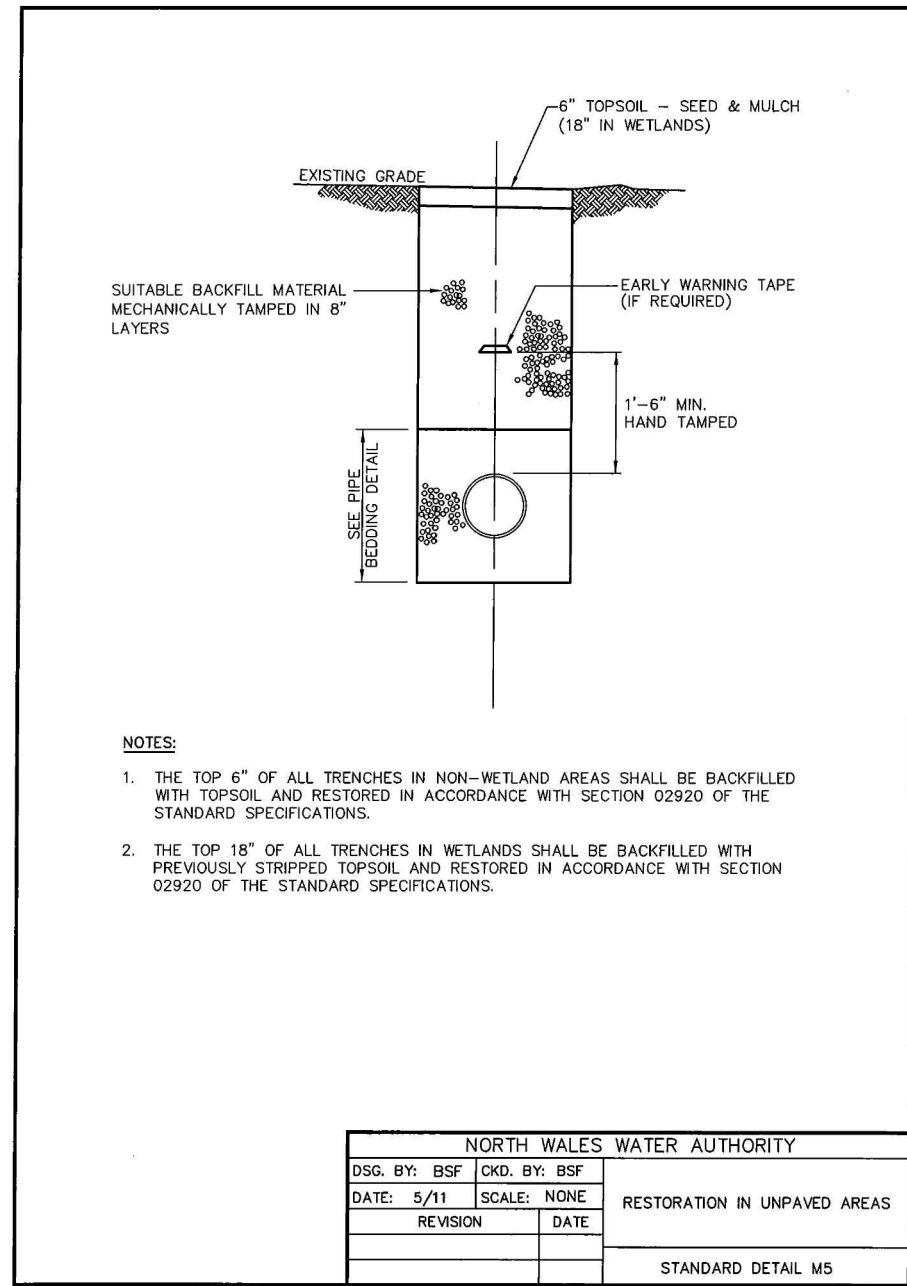
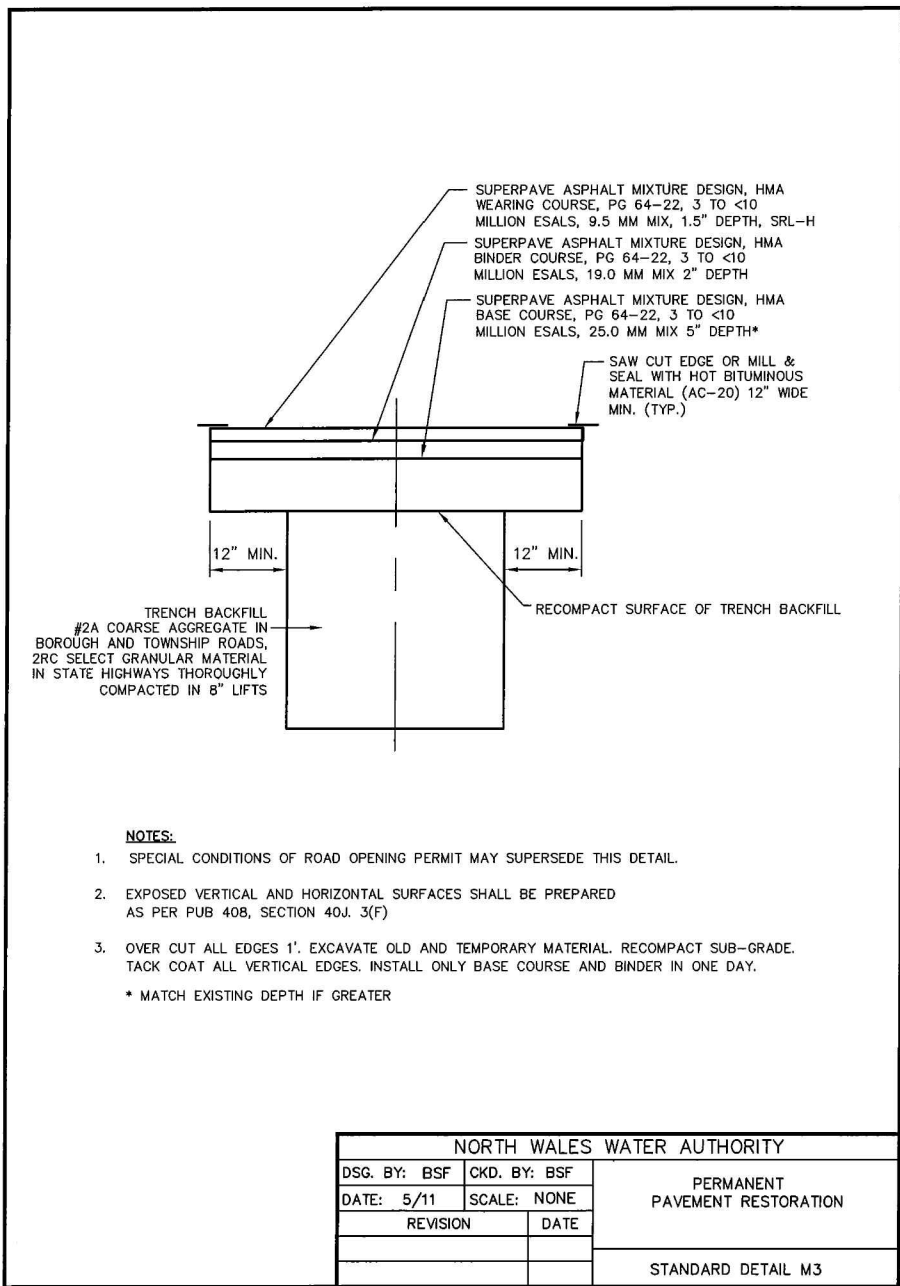
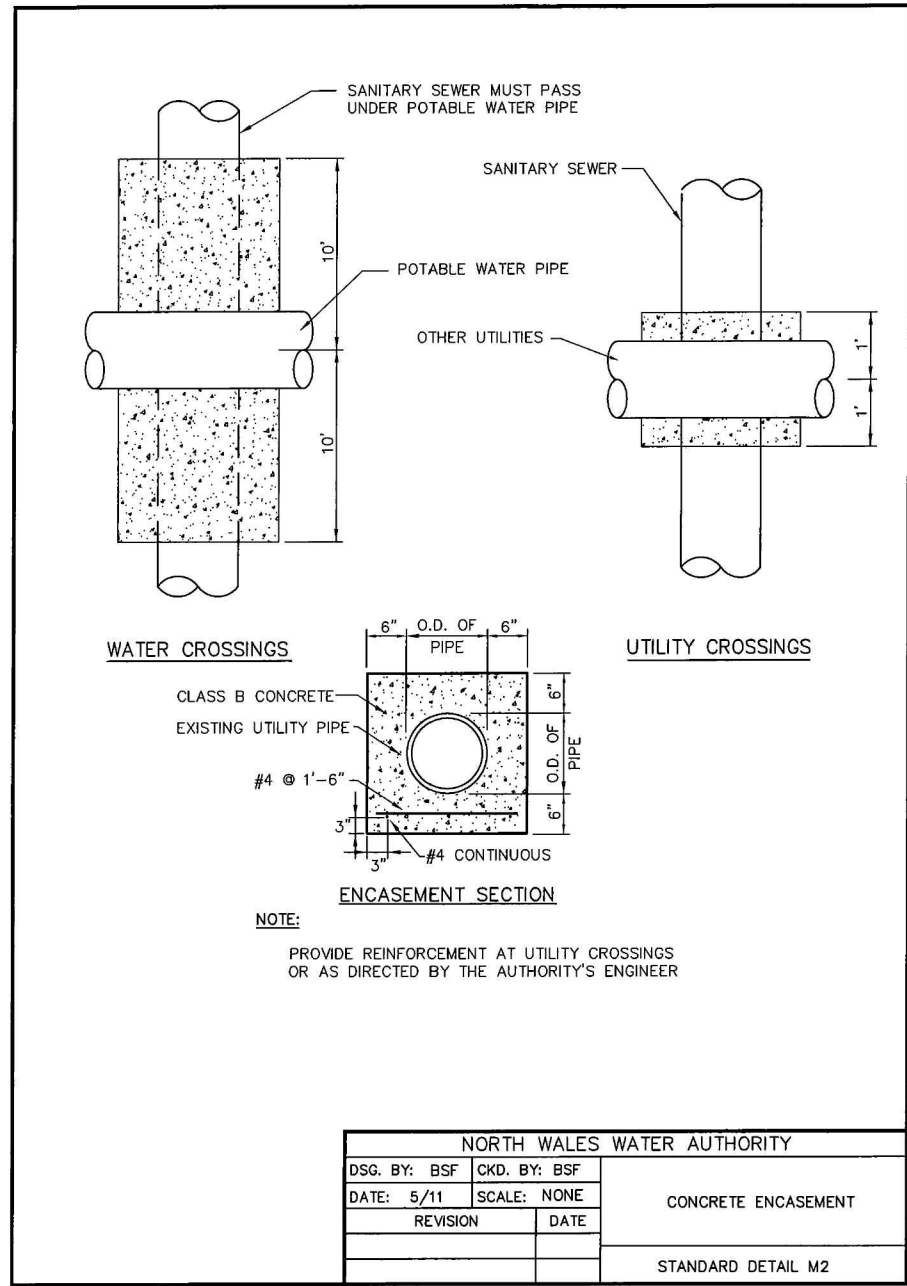
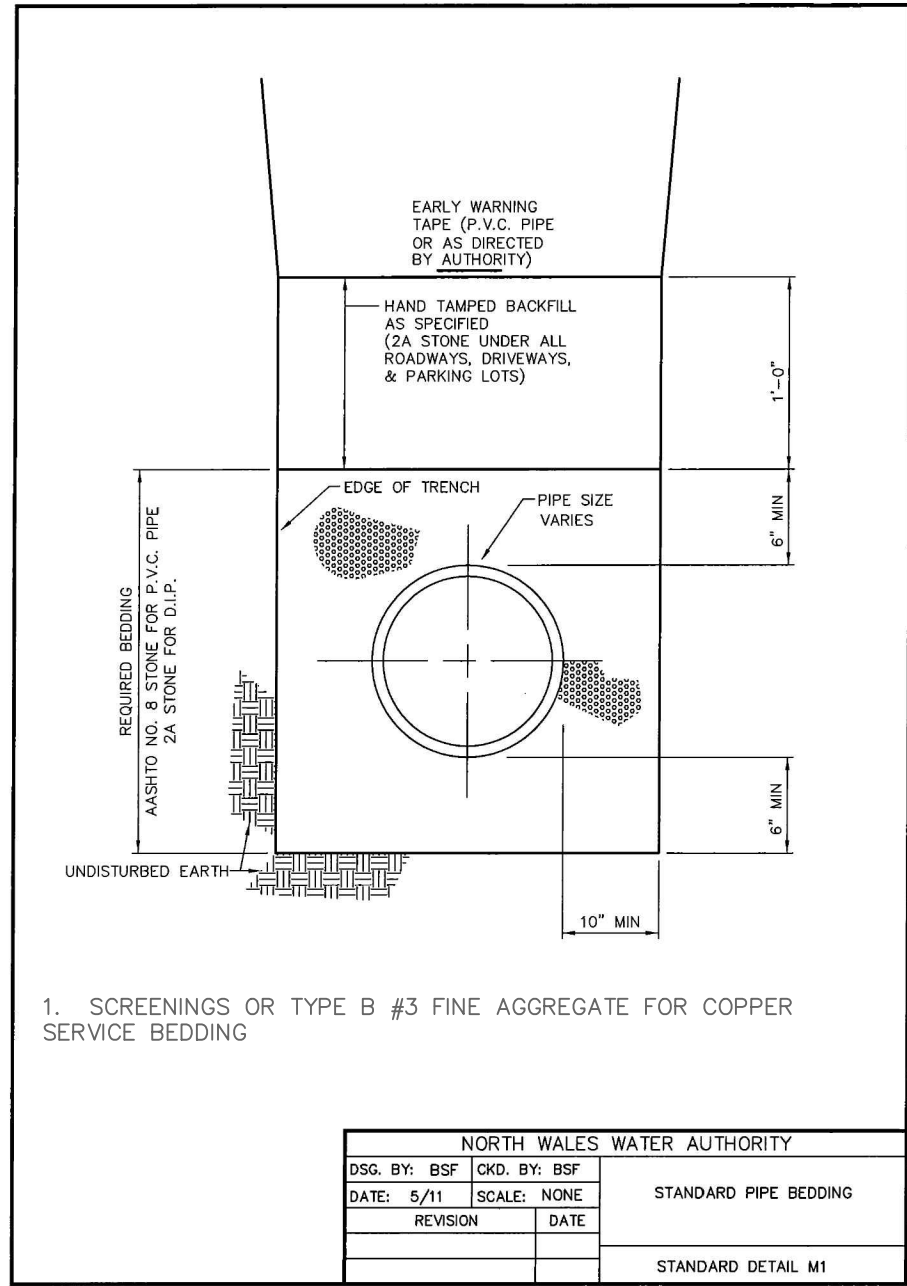


DATE: 10/6/23		SCALE: AS NOTED	
DESIGN: JMM		DRAWN: EJS	
JOB NO.: 8363		FILE NAME: 0803-09-010-010-000	
REF. NO.: SD09.08			
SHEET NO.: 30		OF 43	



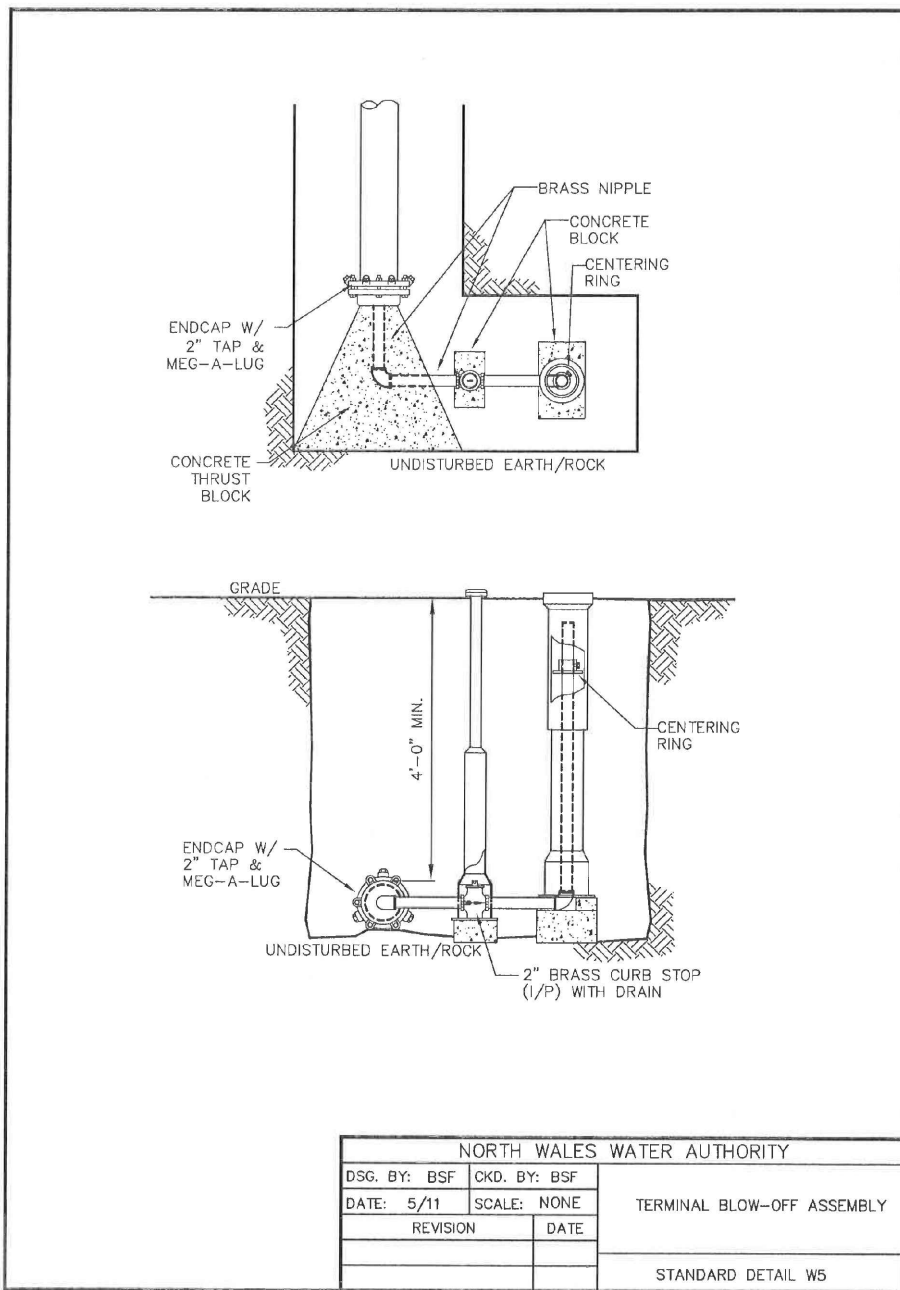






BIRCH RUN AT NEW BRITAIN MATERIALS LIST				
ITEM	STOCK #	DESCRIPTION	UNIT	QUANTITY
1	120 001	12" TDP CLASS 52 (107 LENGTHS)	LF	2128
2	060 001	6" TDP CLASS 52 (4 LENGTHS)	LF	67
3	120 030	12" GATE VALVE	EA	9
4	060 030	6" GATE VALVE	EA	3
5	120 004	12" TEE - MJ	EA	2
6	120 009	12" x 6" HYDRANT TEE	EA	3
7	120 012	12" 45° BEND - MJ	EA	9
8	120 013	12" 22.5° BEND - MJ	EA	5
9	120 014	12" 11.25° BEND - MJ	EA	4
10	120 010	12" SOLID SLEEVE	EA	2
11	120 044	12" CAP W/ 2" TAP	EA	1
12	060 012	6" 45° BEND - MJ	EA	2
13	999 012	2" TERMINAL BLOWOFF ASSEMBLY	EA	1
14	003 001	FIRE HYDRANT 5' BURY	EA	2
15	003 002	FIRE HYDRANT 6' BURY	EA	1
16	003 011	12" B-54 HYDRANT EXTENSION	EA	1
17	120 034	12" MEGALUG	EA	73
18	060 034	6" MEGALUG	EA	13
19	120 033	12" FIELD LOCK GASKETS	EA	39
20	003 037	VALVE BOX LIDS	EA	100
21	003 038	24" VALVE BOX TOPS	EA	100
22	003 039	VALVE BOX BOTTOMS	EA	12
23	003 044	18" VALVE BOX EXTENSION	EA	10
24	003 045	24" VALVE BOX EXTENSION	EA	3
25	010 002	1" CORPORATION - COMPRESSION	EA	44
26	010 006	1" CURB STOP - COMPRESSION	EA	88
27	010 011	1" FIRELINE "Y" BRANCH	EA	44
28	002 001	3 - 4 CURB BOX	EA	88

Valve box lids and valve box tops include 88 for curb boxes that are within 3 feet of driveways

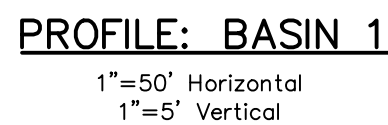
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WATER DETAILS

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/23	SCALE: AS NOTED
DESIGN: JMM	DRAWN: EJS
JOB NO.: 8363	FILE NAME: 8363-S-09-DETAIL-WATERS
REF. NO.:	<b>SD09.10</b>
SHEET NO.:	<b>32</b> OF <b>43</b>





NOTE:

1. WATERTIGHT SEALS TO BE USED ON ALL JOINTS



BASIN '1' OUTLET STRUCTURE 0.S.-2.0 (BMP 1)  
N.T.S.

NOTES:

1. DURING CONSTRUCTION E&S STAGE, THE 18"W x 6"H ORIFICE, THE 12"W x 4"H ORIFICE, AND 1.0" DIAMETER ORIFICE WILL BE PLUGGED DURING THE E&S STAGE.

<u>STORMWATER PLANTINGS</u> CO	<u>QTY</u> 13	<u>BOTANICAL NAME</u> CEPHALANTHUS OCCIDENTALIS	<u>COMMON NAME</u> BUTTONBUSH	<u>CONT.</u> CONT.	<u>SIZE</u> 30" HT.
CL	11	CORNUS SERICEA 'BAILEY'	BAILY RED TWIG DOGWOOD	CONT.	30" HT.
GT	6	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	B & B	2" CAL.
IG	18	ILEX GLABRA	INKBERRY HOLLY	CONT.	30" HT.
IT	15	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	CONT.	30" HT.
JE	11	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	B & B	6' MIN. HT
NS	7	NYSSA SYLVATICA	BLACK GUM	B & B	2" CAL.
QB	5	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2" CAL.

**BASIN FLOOR SEED MIX - (LOW MAINTENANCE) (±0.91 ACRES TOTAL)**  
**ENHIST SEED MIX - ENRMX-126 (OR APPROVED EQUAL)**

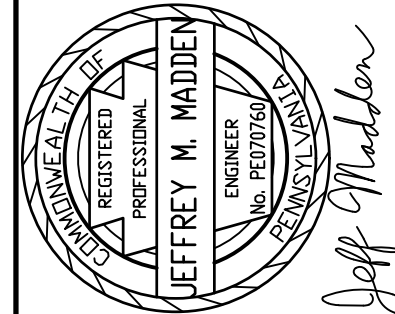
BASIN 1:  
 BASIN 2:

Mix composition

- 20.0% Panicum clandestinum, 'Tioga' (Deertongue, 'Tioga')
- 20.0% Puccinellia distans, 'Fults' (Alkaligrass, 'Fults')
- 18.0% Elymus virginicus, PA Ecotype (Virginia Wildrye, PA Ecotype)
- 15.0% Agrostis stolonifera, (Creeping Bentgrass)
- 15.0% Poa palustris (Fowl Bluegrass)
- 10.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype)
- 1.0% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 1.0% Juncus effusus (Soft Rush)

HEIGHT: 0.3-5.0 FT  
SEEDING RATE: 20-40 LB PER ACRE OR 1 POUND PER 1,000 SQ.FT.  
FOR A COVER CROP USE GRAIN RYE 30 LBS/ACRE (1 SEPT-30 APR.) OR  
JAPANESE MILLET OR BARNYARD GRASS 10 LBS/ACRE (1 MAY-31 AUG.)

1-YR	=	364.97
1.2/2HR	=	364.14
2-YR	=	365.28
5-YR	=	365.83
10-YR	=	366.25
25-YR	=	366.78
50-YR	=	367.12
100-YR	=	367.54



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4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS	ESE

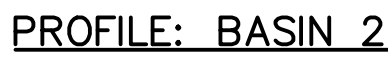
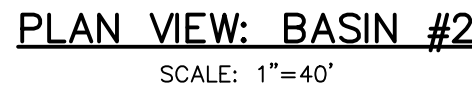
# BASIN DETAILS

## BASIN #1

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/23	SCALE: AS NOTED
DESIGN: LJP	DRAWN: EJS
JOB NO.: 8363	FILE NAME: 8363-S-09-DETAIL-BASIN
REF. NO.:	<b>SD09.10</b>
SHEET NO.:	<b>33</b> OF <b>43</b>





<u>STORMWATER PLANTINGS</u> <u>CO</u>	<u>QTY</u> <u>13</u>	<u>BOTANICAL NAME</u> CEPHALANTHUS OCCIDENTALIS	<u>COMMON NAME</u> BUTTONBUSH	<u>CONT.</u> <u>CONT.</u>	<u>SIZE</u> 30" HT.
GT	3	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	B & B	2" CAL.
IG	10	ILEX GLABRA	INKBERRY HOLLY	CONT.	30" HT.
IT	17	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	CONT.	30" HT.
JE	10	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	B & B	6' MIN. HT
NS	4	NYSSA SYLVATICA	BLACK GUM	B & B	2" CAL.
QB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2" CAL.

SEEDING RATE: 4 LB PER 1,000 SQ.FT.



## BASIN DETAILS

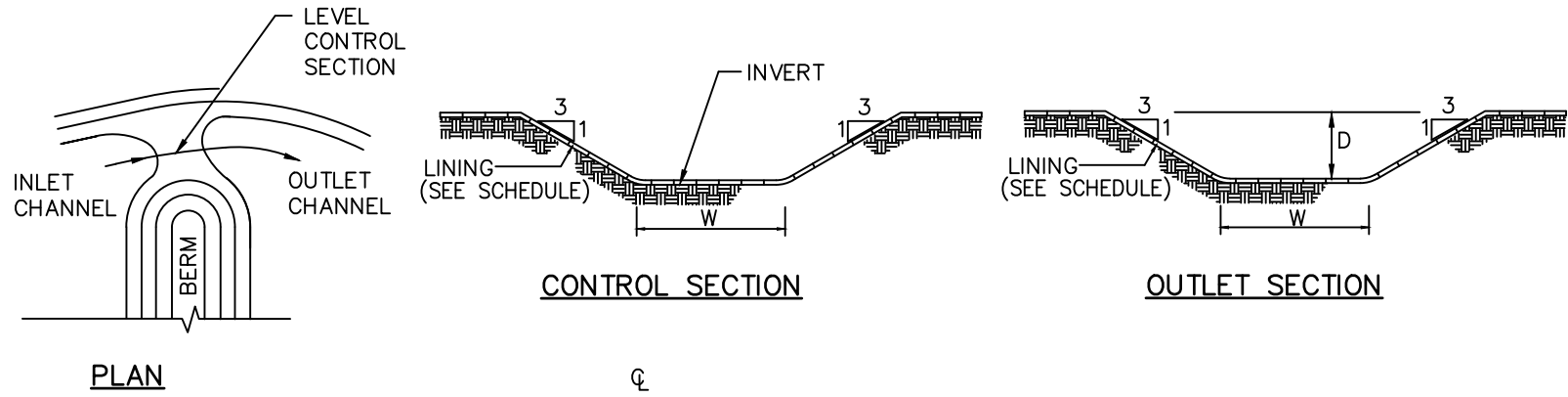
BASIN #2

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

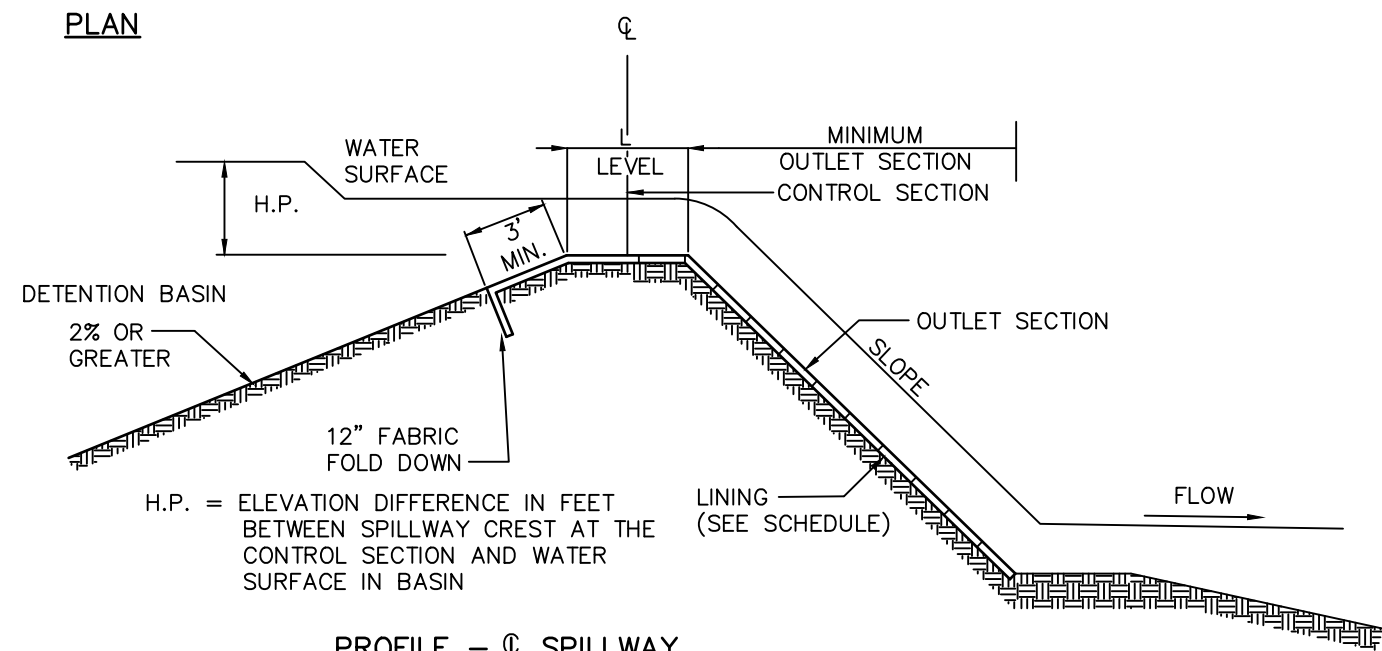
DATE: 10/6/23	SCALE: AS NOTED
DESIGN: LJP	DRAWN: EJS
JOB NO.: 8363	FILE NAME: 8363-S-09-DETAIL-BASIN
REF. NO.:	<b>SD09.11</b>
SHEET NO.:	<b>33</b> OF <b>43</b>



N:\PROJECTS\PENNSYLVANIA\8363-NEW BRITAIN CIP\ENGINEERING\DRAWINGS\8363-S-09-DETAIL-BASIN.DWG-Jeff Madden-12/3/2024 1:03 PM



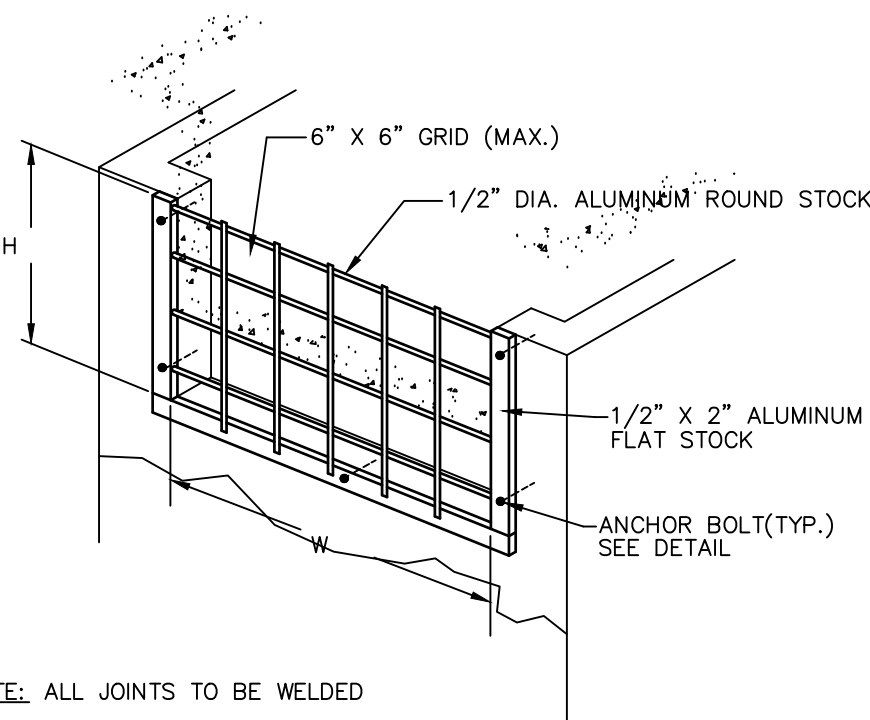
PLAN



PROFILE - @ SPILLWAY

### EMERGENCY SPILLWAY SCHEDULE

BASIN #	TOP OF BERM	PERMANENT CONTROL SECTION			TEMPORARY CONTROL SECTION			OUTLET SECTION			
		WIDTH	INVERT	LINING	WIDTH	INVERT	LINING	MAX SLOPE	W	D	LINING
1	370.00	25	368.20	C-125	---	---	---	3:1	25	1.8	C-125
2	371.00	30	369.50	C-125	---	---	---	3:1	30	1.5	C-125

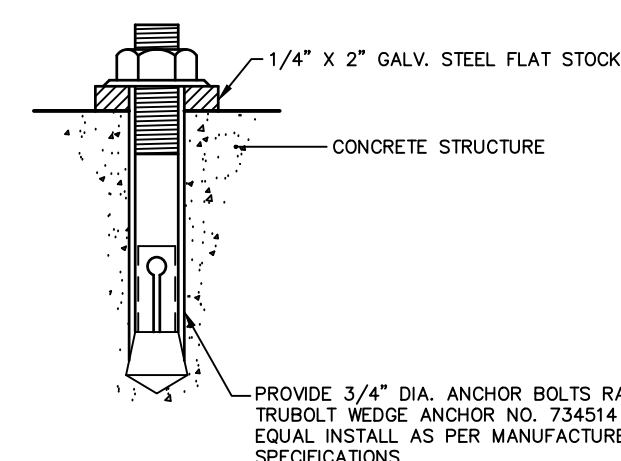


NOTE: ALL JOINTS TO BE WELDED

OUTLET	WIDTH	HEIGHT
1.0	2.00'	1.00'
2.0	2.00'	3.00'

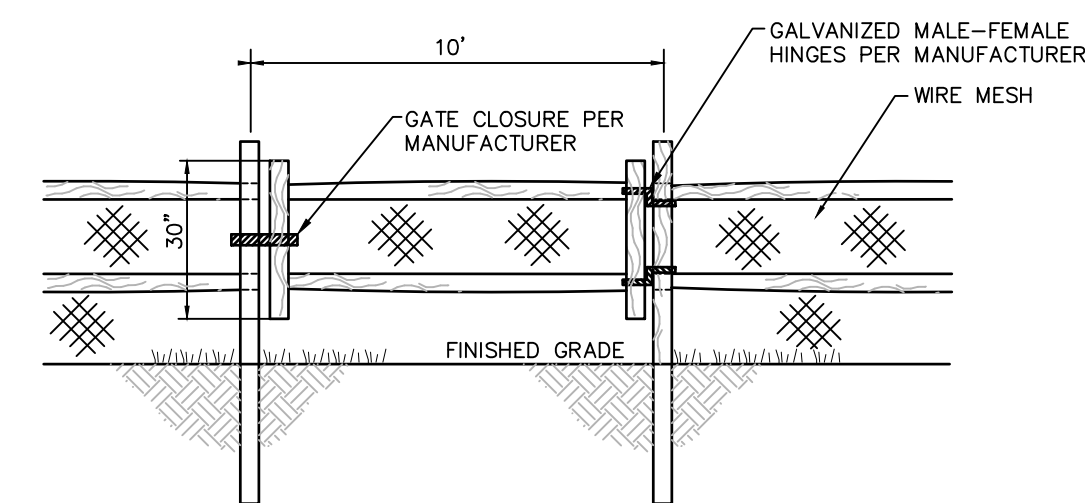
### WEIR TRASH RACK DETAIL

N.T.S.



### ANCHOR BOLT DETAIL

N.T.S.

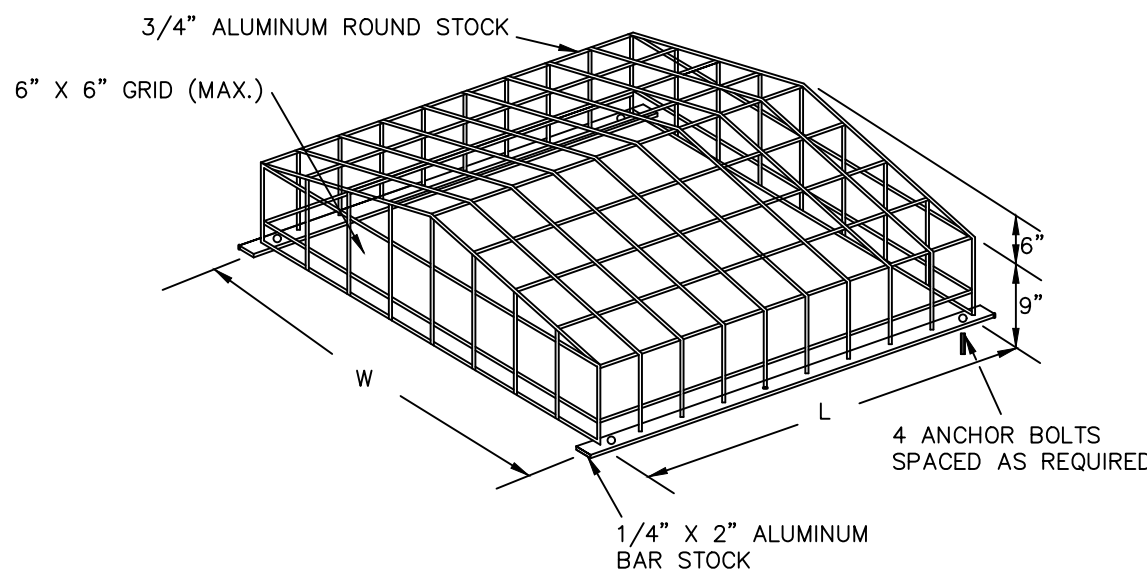


### NOTES:

- ACCESS TO BASINS SHALL BE PROVIDED BY A GATE HAVING AN OPENING OF TEN (10) FEET.
- GATE CLOSURE DEVICE TO BE CHILD SAFETY PROOF.

### SPLIT-RAIL FENCE GATE DETAIL

N.T.S.

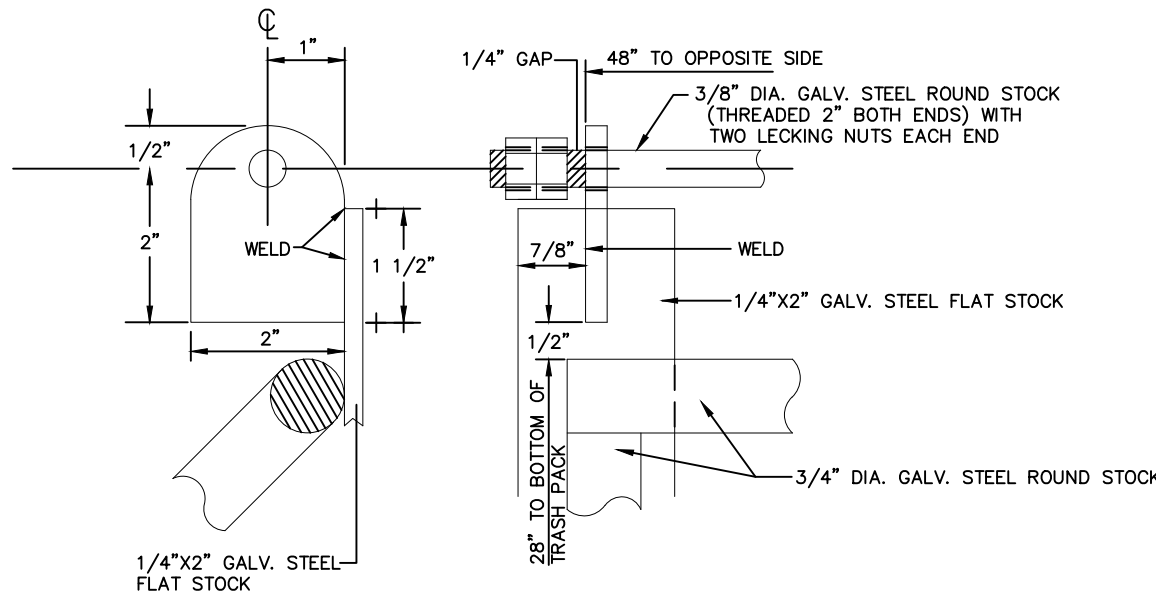


NOTE: ALL JOINTS TO BE WELDED

OUTLET	WIDTH	LENGTH
1.0	36"	57.25'
2.0	36"	57.25'

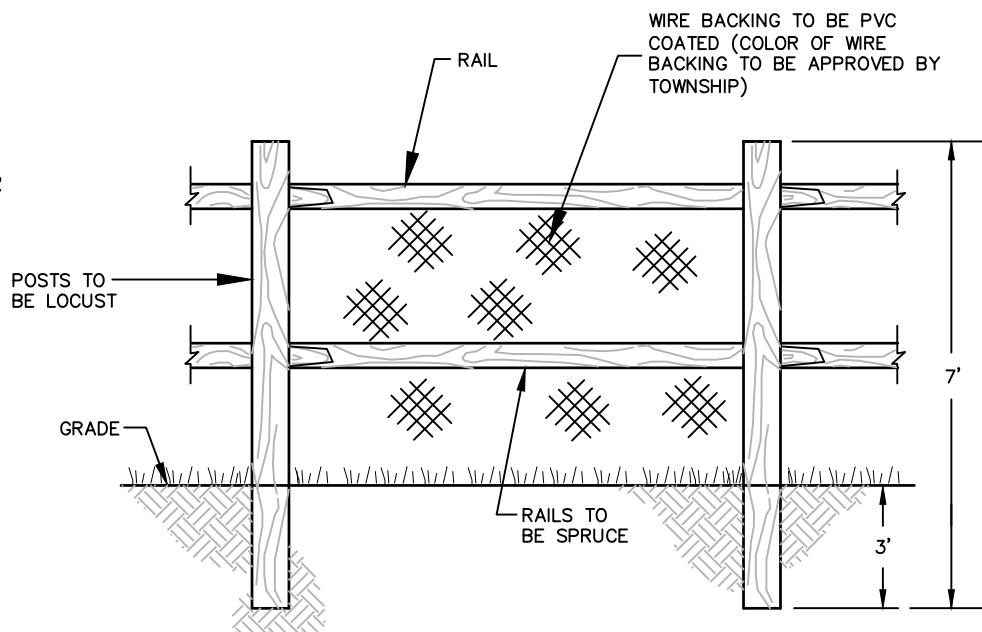
### TOP OF STRUCTURE TRASH RACK DETAIL

N.T.S.



### HINGE ASSEMBLY

N.T.S.

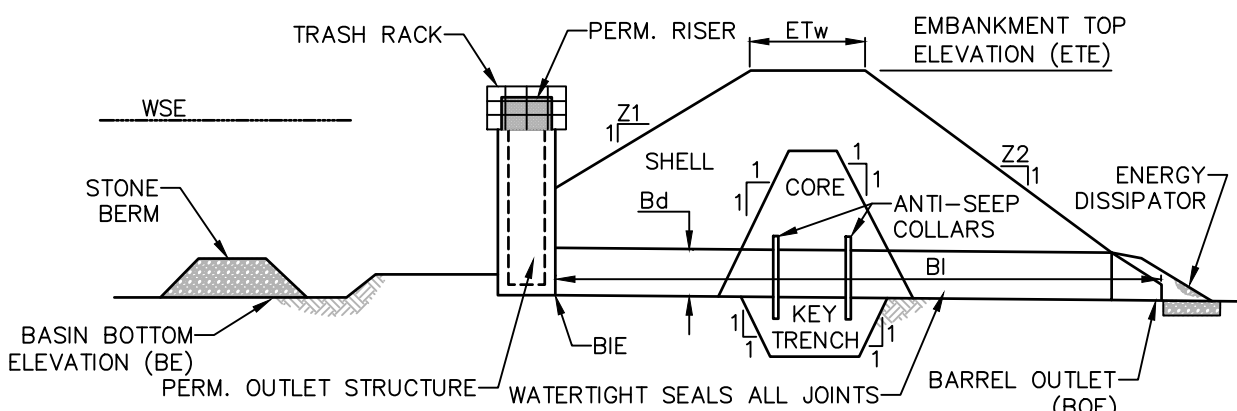


### NOTES:

- ALL RAILS TO BE SPRUCE AND POSTS TO BE LOCUST WOOD.
- WIRE MESH TO BE INSTALLED ON FENCES ABOVE WALLS AND SURROUNDING THE STORMWATER BASINS.
- WIRE MESH TO BE INSTALLED 6" ABOVE GROUND SURFACE AND PVC COATED.
- ANY RETAINING WALL FIVE FEET OR MORE IN HEIGHT SHALL HAVE A FENCE APPROVED BY THE TOWNSHIP.

### SPLIT-RAIL FENCE DETAIL

N.T.S.



BASIN NO. (O.S.)	Z1 (FT)	Z2 (FT)	PERM RISER ELEV (FT)	EMBANKMENT				BOTTOM ELEV BE (FT)
				TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	
1 (2.0)	3	3	367.65	370.00	10	3	8	364.00
2 (1.0)	3	3	369.00	371.00	10	3	8	365.00

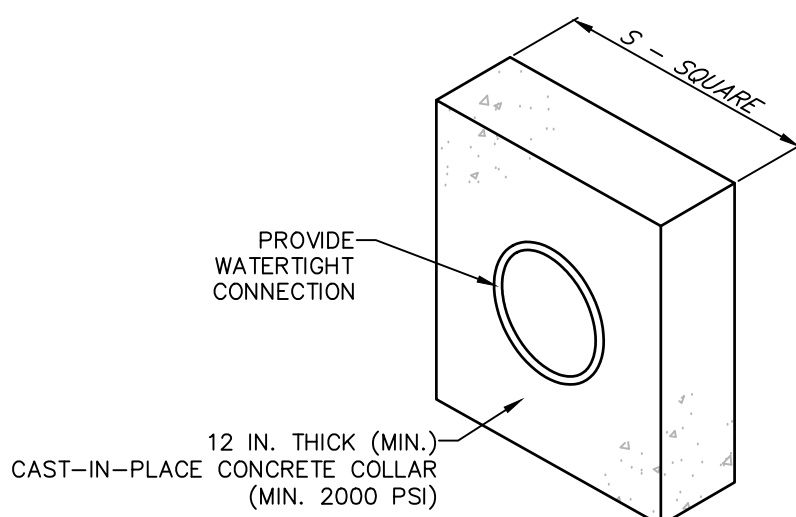
### NOTES:

AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF THREE FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DENSITY. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.

UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.

### BASIN BERM DETAIL

NOT TO SCALE



BASIN OR TRAP NO.	PIPE SIZE (IN)	S (FT)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
1	18	4	5	9.21	9.21

### NOTES:

ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

ANTISEEP COLLARS SHALL BE INSTALLED AROUND THE PIPE BARREL WITHIN THE NORMAL SATURATION ZONE OF THE DETENTION BASIN BERMS AND SHALL BE POURED IN PLACE.

COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

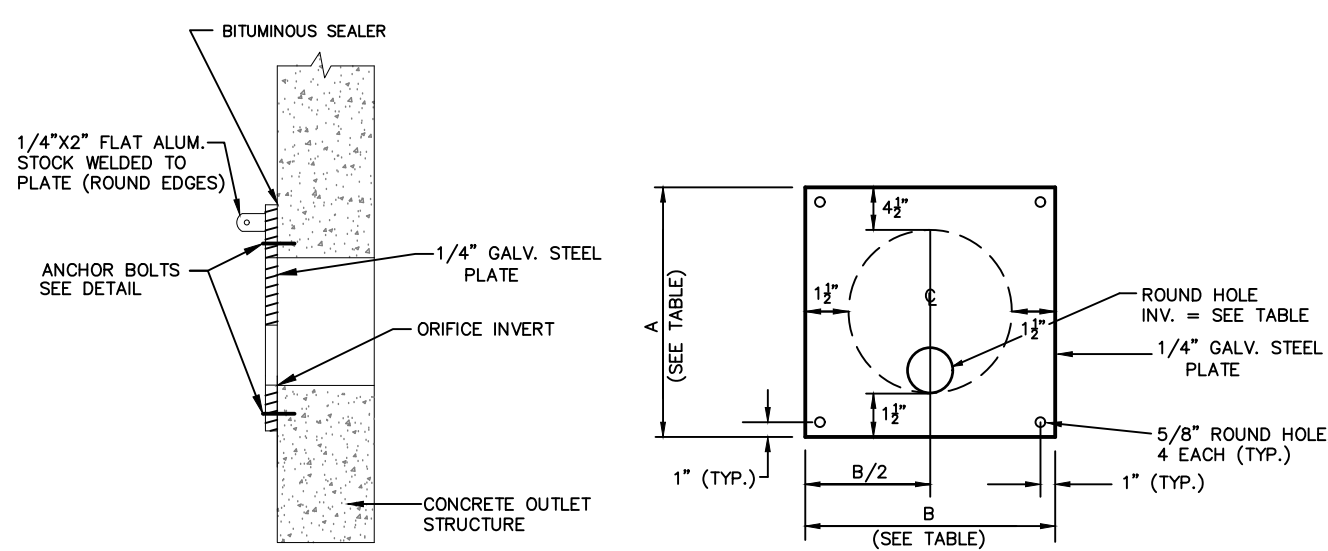
A MINIMUM OF TWO ANTISEEP COLLARS SHALL BE INSTALLED ON EACH OUTLET PIPE.

ANTISEEP COLLARS SHALL EXTEND A MINIMUM OF TWO FEET BEYOND THE OUTSIDE OF THE PRINCIPLE PIPE BARREL.

MAXIMUM SPACING BETWEEN COLLARS SHALL BE 14 TIMES THE MINIMUM PROJECTION OF THE COLLAR MEASURED PERPENDICULAR TO THE PIPE.

### STANDARD CONSTRUCTION DETAIL #7-16 CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS

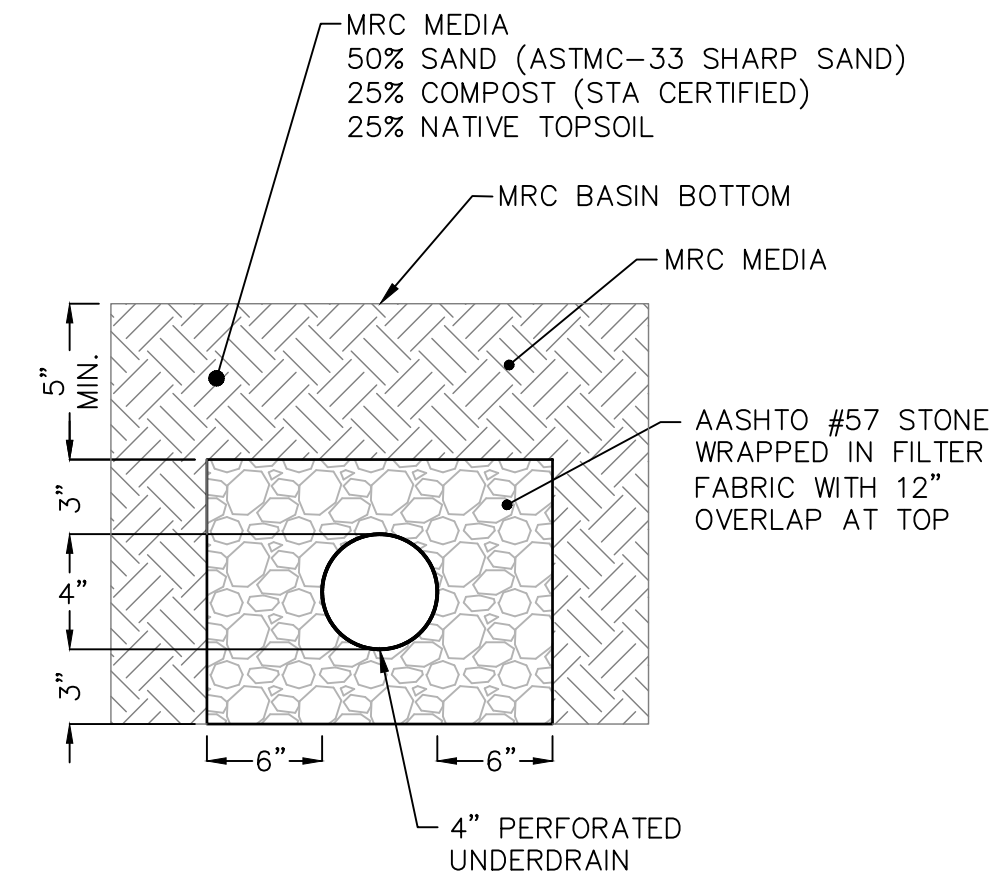
NOT TO SCALE



BASIN #	STRUCTURE #	A (in.)	B (in.)	ORIFICE	
				SIZE (in.)	INVERT (ft.)
1	O.S. #2.0	10	15	12" W X 4" H	364.65
1	O.S. #2.0	12	21	18" W X 6" H	366.50
1	O.S. #2.0	8	8	1" ORIFICE	362.00
2	O.S. #1.1	8	8	0.7" ORIFICE	365.00
2	O.S. #1.0	9	18	15" W X 3" H	365.45

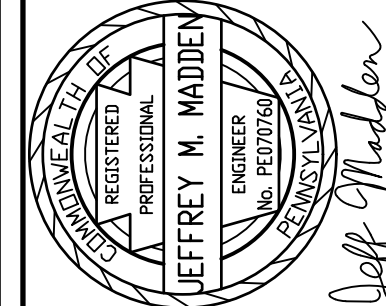
### ORIFICE PLATE DETAIL

N.T.S.



### MRC BASIN UNDERDRAIN & MEDIA DETAIL

N.T.S.



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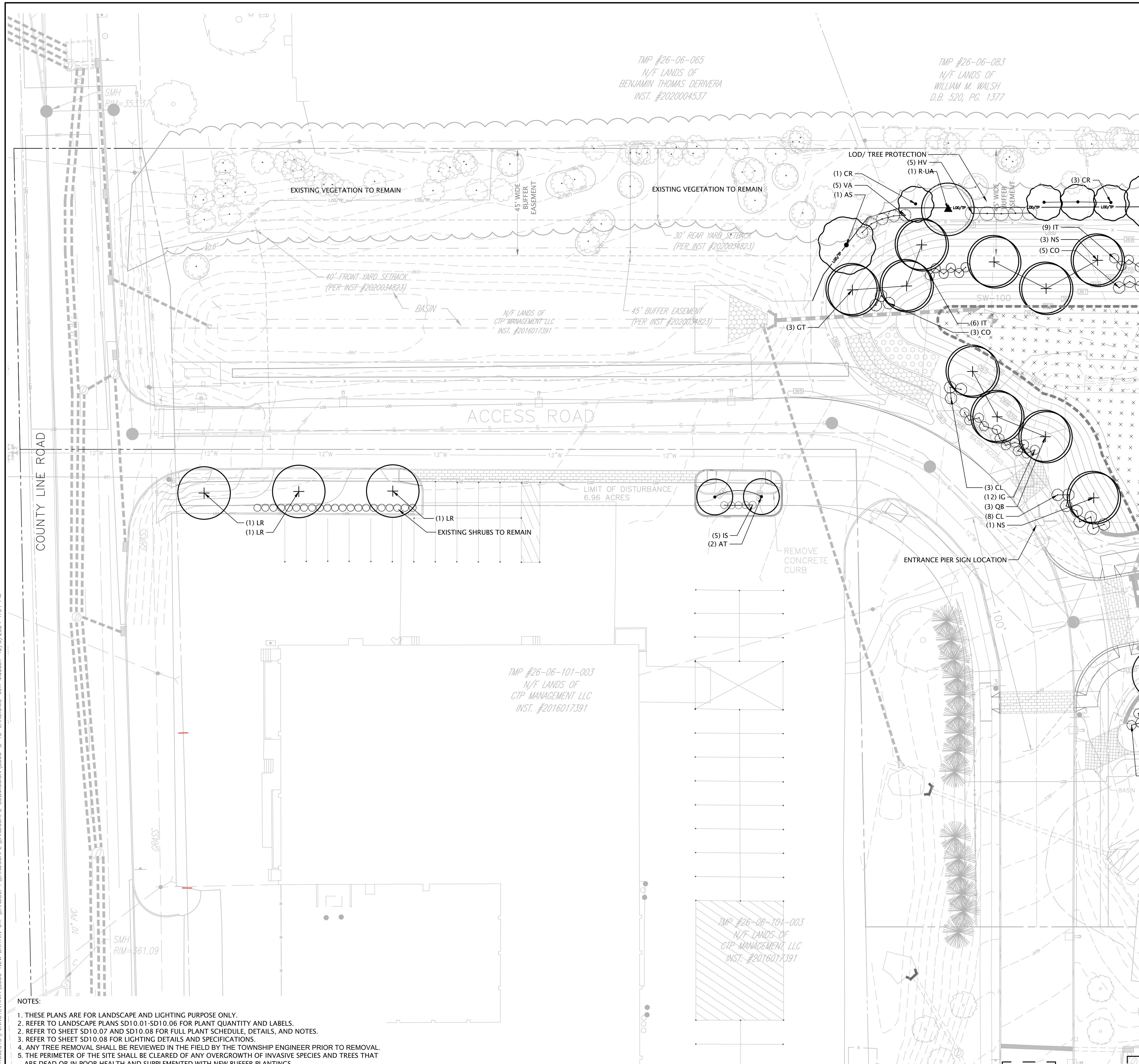
### BASIN DETAILS

## BIRCH RUN AT NEW BRITAIN

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

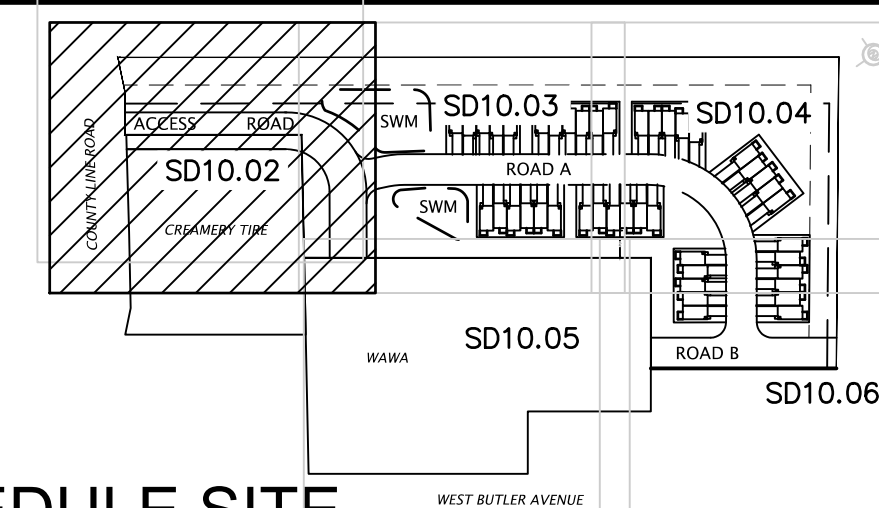
DATE:	10/6/23	SCALE:	AS NOTED
DESIGN:	LJP	DRAWN:	EJS
JOB NO.:	8363	FILE NAME:	8363-5-09-DETAIL-BASIN
REF. NO.:	SD09.13		
SHEET NO.:	35	OF	43





NOTES

1. THESE PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSE ONLY.
2. REFER TO LANDSCAPE PLANS SD10.01-SD10.06 FOR PLANT QUANTITY AND LABELS.
3. REFER TO SHEET SD10.07 AND SD10.08 FOR FULL PLANT SCHEDULE, DETAILS, AND NOTES.
3. REFER TO SHEET SD10.08 FOR LIGHTING DETAILS AND SPECIFICATIONS.
4. ANY TREE REMOVAL SHALL BE REVIEWED IN THE FIELD BY THE TOWNSHIP ENGINEER PRIOR TO REMOVAL
5. THE PERIMETER OF THE SITE SHALL BE CLEARED OF ANY OVERGROWTH OF INVASIVE SPECIES AND TREES THAT ARE DEAD OR IN POOR HEALTH AND SUPPLEMENTED WITH NEW BUFFER PLANTINGS.



## PLANT SCHEDULE SITE

MATCH	CODE	COMMON NAME
	BUFFER PLANTINGS	
IA	AMERICAN HOLLY	
VA	ARROWWOOD VIBURNUM	
IB	BERRY NICE WINTERBERRY	
AM	CANADIAN SERVICEBERRY	
PP	COLORADO SPRUCE	
MF	FLOWERING CRABAPPLE	
LH	HAPPIDAZE® SWEET GUM	
IM	JIM DANDY WINTERBERRY	
HV	OZARK WITCH HAZEL	
CR	STELLAR PINK® DOGWOOD	
AS	SUGAR MAPLE	
AC	WHITE FIR	
QA	WHITE OAK	

### REPLACEMENT TREES

R-UA	ACCOLADE™ ELM
R-QR	RED OAK
 <u>STREET TREES</u>	
TA	AMERICAN LINDEN
AP	APOLLO® SUGAR MAPLE
AF	AUTUMN BLAZE® FREEMAN MAPLE
LR	ROUND-LOBED SWEET GUM

### ADDITIONAL SHRUBS

PB	BLUE SHAG WHITE PINE
FG	DWARF FOTHERGILLA
HJ	LITTLE LIME® PANICLE HYDRANGEA
IS	SHAMROCK INKBERRY HOLLY

## PLANT SCHEDULE BASIN #1

<u>CODE</u>	<u>COMMON NAME</u>
<u>STORMWATER PLANTINGS</u>	
CL	BAILY RED TWIG DOGWOOD
NS	BLACK GUM
CO	BUTTONBUSH
JE	EASTERN REDCEDAR
IG	INKBERRY HOLLY
IT	LITTLE HENRY SWEETSPIRE
QB	SWAMP WHITE OAK
GT	THORNLESS HONEY LOCUST

ADDITIONAL SHRUBS  
IS SHAMROCK INKBERRY HOLLY

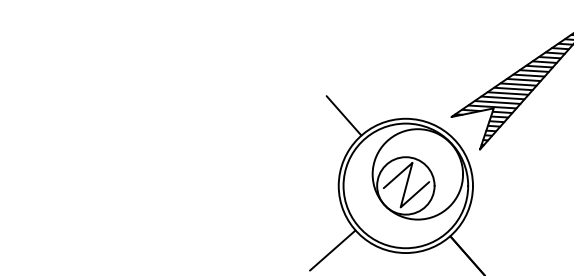
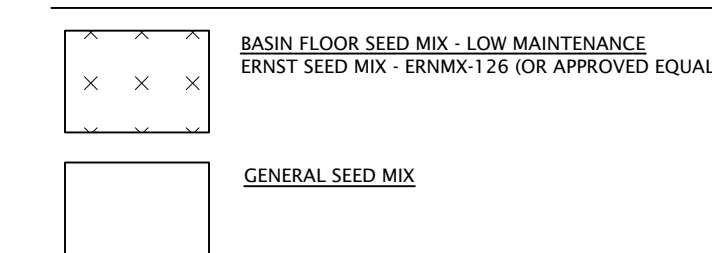
## PLANT SCHEDULE BASIN #2

<u>CODE</u>	<u>COMMON NAME</u>
<u>STORMWATER PLANTINGS</u>	
NS	BLACK GUM
CO	BUTTONBUSH
JE	EASTERN REDCEDAR
IG	INKBERRY HOLLY
IT	LITTLE HENRY SWEETSPIRE
QB	SWAMP WHITE OAK
GT	THORNLESS HONEY LOCUST

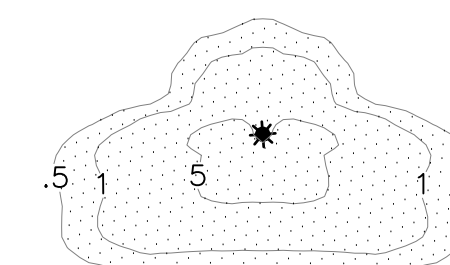
## PLANT SCHEDULE ACCESS ROAD

<u>CODE</u>	<u>COMMON NAME</u>
<u>STREET TREES</u>	
AT	HOT WINGS® TATARIAN MAPLE
	SINGLE-TRUNK
LR	ROUND-LOBED SWEET GUM

ADDITIONAL SHRUBS  
IS SHAMROCK INKBERRY HOLLY



## PROPOSED STREET LIGHT



HADCO BY SIGNIFY URBAN CITY POST LED  
POST TOP WITH BLACK DECORATIVE POLE

COLOR: BLACK  
PRODUCT FAMILY: TX1  
LAMP WATTAGE: 55 WATT  
LAMP TYPE: LED  
DISTRIBUTION: TYPE III

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ESE Consultants, Inc.  
1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

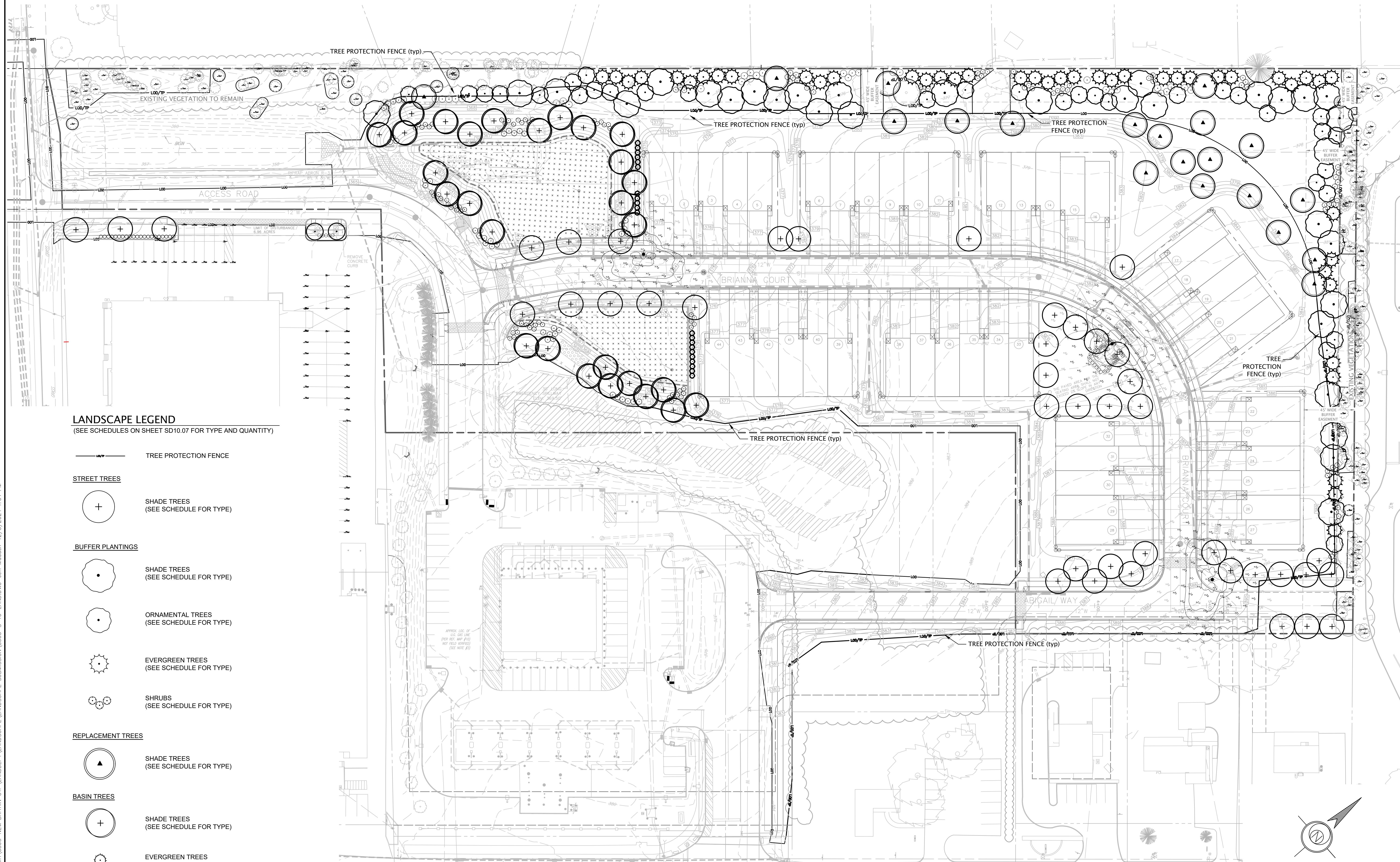
REV	DATE	DESCRIPTION	DRAWN
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS	PSE
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS	PSE
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS	PSE
4	11/09/24	REVISIONS PER TOWNSHIP COMMENTS	PSE

## LANDSCAPE PLAN

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/2023	SCALE: 1"=20'
DESIGN: JMM	DRAWN: LAC
JOB NO.: 8363	FILE NAME: 8363-S-10-LAN
REF. NO.:	<b>SD10.02</b>
SHEET NO.:	<b>36</b> OF <b>43</b>



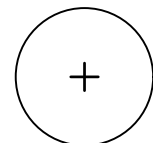


LANDSCAPE LEGEND

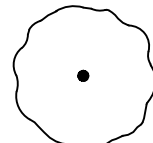
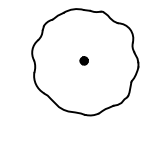
(SEE SCHEDULES ON SHEET SD10.07 FOR TYPE AND QUANTITY)

———— LOG/P ———— TREE PROTECTION FENCE

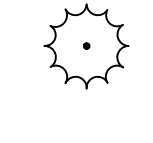
## STREET TREES

SHADE TREES  
(SEE SCHEDULE FOR TYPE)

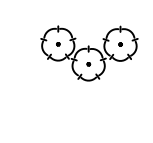
### BUFFER PLANTINGS

SHADE TREES  
(SEE SCHEDULE FOR TYPE)

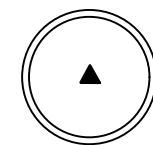
ORNAMENTAL TREES  
(SEE SCHEDULE FOR TYPE)



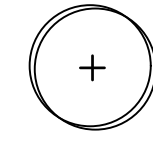
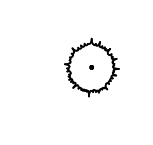
EVERGREEN TREES  
(SEE SCHEDULE FOR TYPE)

SHRUBS  
(SEE SCHEDULE FOR TYPE)

### REPLACEMENT TREES

SHADE TREES  
(SEE SCHEDULE FOR TYPE)

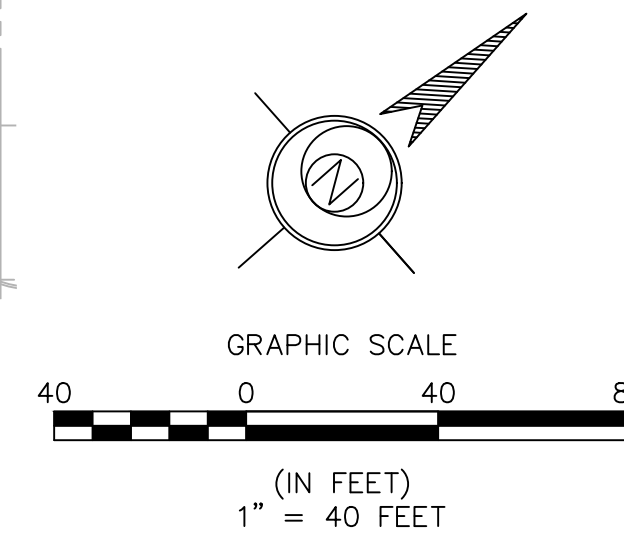
## BASIN TREES

SHADE TREES  
(SEE SCHEDULE FOR TYPE)

EVERGREEN TREES  
(SEE SCHEDULE FOR TYPE)

## NOTES

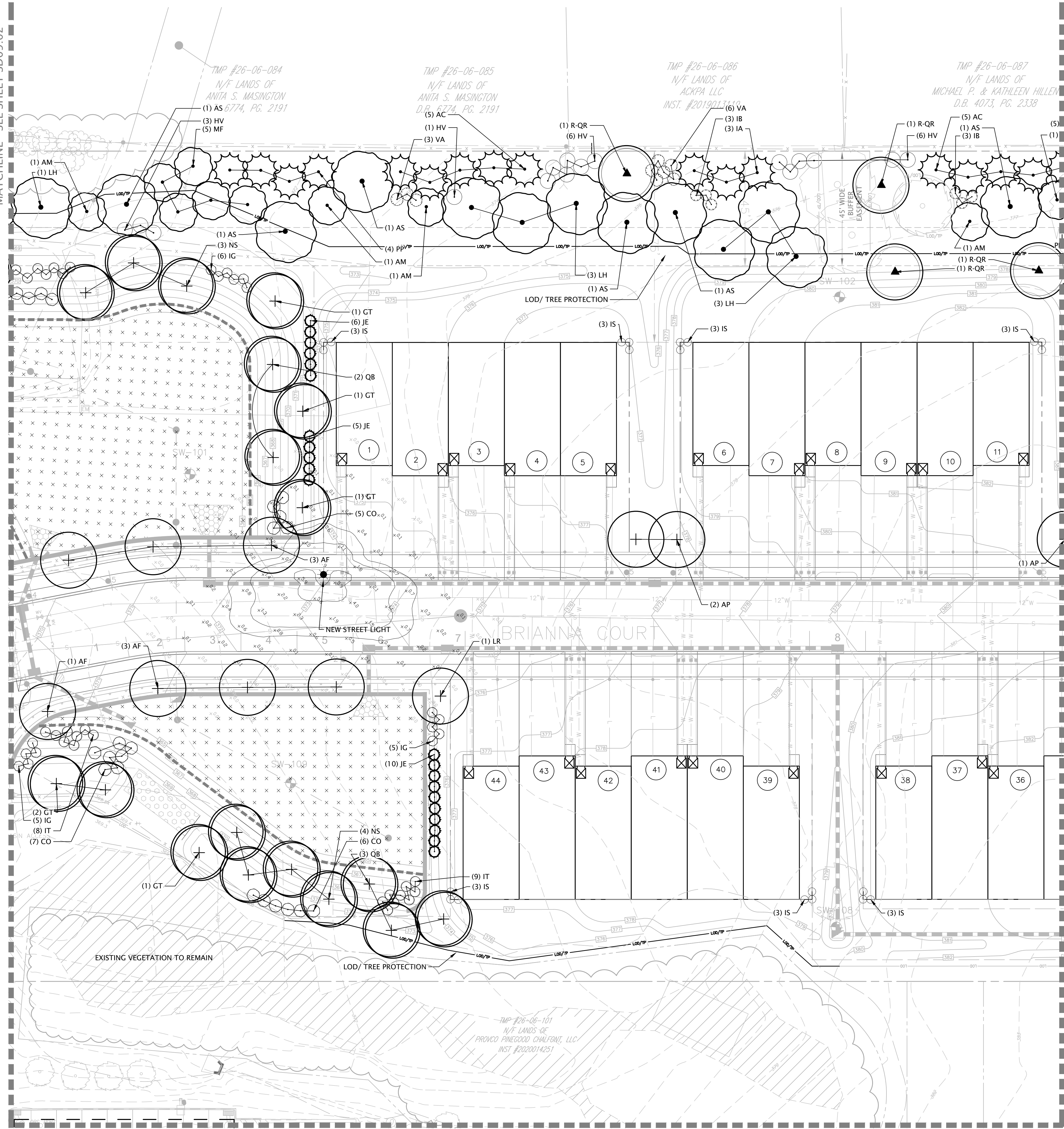
1. THESE PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSE ONLY.
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MATCHLINE - SEE SHEET SD09.02

MATCHLINE - SEE SHEET SD09.04



## PLANT SCHEDULE SITE

CODE COMMON NAME

### BUFFER PLANTINGS

IA	AMERICAN HOLLY
VA	ARROWWOOD VIBURNUM
IB	BERRY NICE WINTERBERRY
AM	CANADIAN SERVICEBERRY
PP	COLORADO SPRUCE
MF	FLOWERING CRABAPPLE
LH	HAPPIDAZE® SWEET GUM
IM	JIM DANDY WINTERBERRY
HV	OZARK WITCH HAZEL
CR	STELLAR PINK® DOGWOOD
AS	SUGAR MAPLE
AC	WHITE FIR
QA	WHITE OAK

### REPLACEMENT TREES

R-UA	ACCOLADE™ ELM
R-QR	RED OAK

### STREET TREES

TA	AMERICAN LINDEN
AP	APOLLO® SUGAR MAPLE
AF	AUTUMN BLAZE® FREEMAN MAPLE
LR	ROUND-LOBED SWEET GUM

### ADDITIONAL SHRUBS

PB	BLUE SHAG WHITE PINE
FG	DWARF FOTHERGILLA
HJ	LITTLE LIME® PANICLE HYDRANGEA
IS	SHAMROCK INKBERRY HOLLY

## PLANT SCHEDULE BASIN #1

CODE COMMON NAME

### STORMWATER PLANTINGS

CL	BAILY RED TWIG DOGWOOD
NS	BLACK GUM
CO	BUTTONBUSH
JE	EASTERN REDCEDAR
IG	INKBERRY HOLLY
IT	LITTLE HENRY SWEETSPIRE
QB	SWAMP WHITE OAK
GT	THORNLESS HONEY LOCUST

### ADDITIONAL SHRUBS

IS	SHAMROCK INKBERRY HOLLY
----	-------------------------

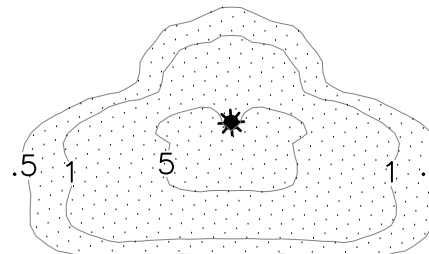
## PLANT SCHEDULE BASIN #2

CODE COMMON NAME

### STORMWATER PLANTINGS

NS	BLACK GUM
CO	BUTTONBUSH
JE	EASTERN REDCEDAR
IG	INKBERRY HOLLY
IT	LITTLE HENRY SWEETSPIRE
QB	SWAMP WHITE OAK
GT	THORNLESS HONEY LOCUST

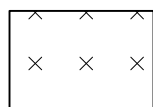
### PROPOSED STREET LIGHT



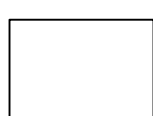
HADCO BY SIGNIFY URBAN CITY POST LED  
POST TOP WITH BLACK DECORATIVE POLE

COLOR: BLACK  
PRODUCT FAMILY: TX1  
LAMP WATTAGE: 55 WATT  
LAMP TYPE: LED  
DISTRIBUTION: TYPE III

### SEED MIX



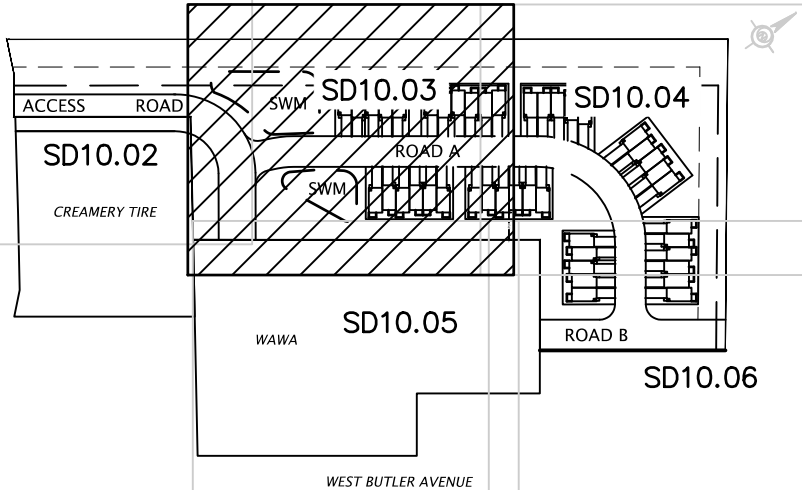
BASIN FLOOR SEED MIX - LOW MAINTENANCE  
ERNST SEED MIX - ERNMIX-126 (OR APPROVED EQUAL)



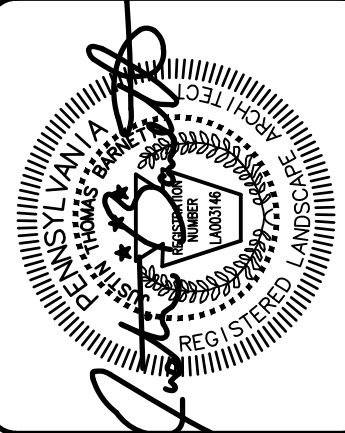
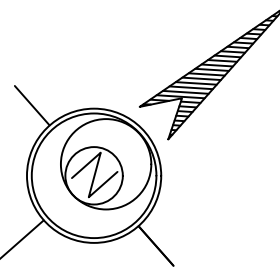
GENERAL SEED MIX

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### KEY MAP



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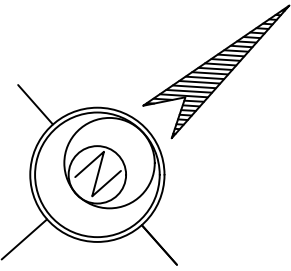
ESE Consultants, Inc.  
1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

LANDSCAPE PLAN

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/2023	SCALE: 1"=20'
DESIGN: JMM	DRAWN: LAC
JOB NO.: 8363	FILE NAME: 8363-S-10-LAND
REF: NO.	<b>SD10.03</b>
SHEET NO.: <b>37</b>	OF <b>43</b>





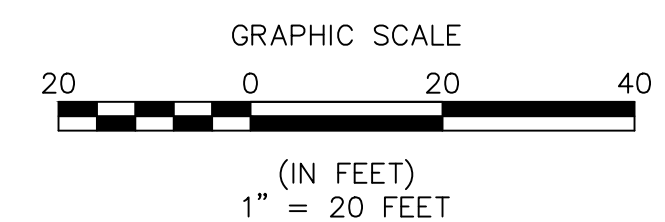
<u>CODE</u>	<u>COMMON NAME</u>
-------------	--------------------

ADDITIONAL SHRUBS	
PB	BLUE SHAG WHITE PINE
FG	DWARF FOTHERGILLA
HJ	LITTLE LIME® PANICLE HYDRANGEA
IS	SHAMROCK INKBERRY HOLLY

GENERAL SEED MIX

COLOR:	BLACK
PRODUCT FAMILY:	TX1
LAMP WATTAGE:	55 WATT
LAMP TYPE:	LED
DISTRIBUTION:	TYPE III

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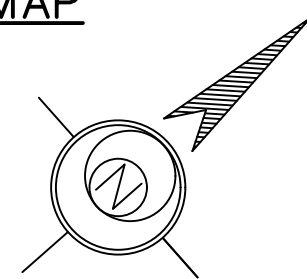


LANDSCAPE PLAN

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/2023	SCALE: 1"=20'
DESIGN: JMM	DRAWN: LAC
JOB NO.: 8363	FILE NAME: 8363-S-10-LAND
REF. NO.:	<b>SD10.04</b>
SHEET NO.:	<b>38</b> OF <b>43</b>

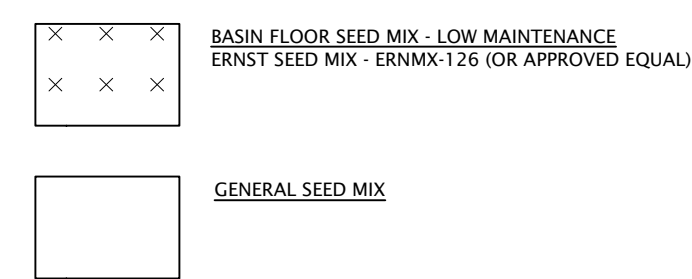




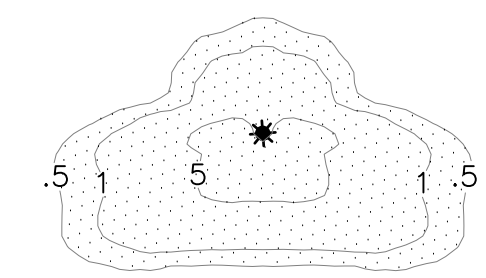
<u>CODE</u>	<u>COMMON NAME</u>
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BUFFER PLANTINGS	
IA	AMERICAN HOLLY
VA	ARROWWOOD VIBURNUM
IB	BERRY NICE WINTERBERRY
AM	CANADIAN SERVICEBERRY
PP	COLORADO SPRUCE
MF	FLOWERING CRABAPPLE
LH	HAPPIDAZE® SWEET GUM
IM	JIM DANDY WINTERBERRY
HV	OZARK WITCH HAZEL
CR	STELLAR PINK® DOGWOOD
AS	SUGAR MAPLE
AC	WHITE FIR
QA	WHITE OAK
REPLACEMENT TREES	
R-UA	ACCOLADE™ ELM
R-OR	RED OAK
STREET TREES	
TA	AMERICAN LINDEN
AP	APOLLO® SUGAR MAPLE
AF	AUTUMN BLAZE® FREEMAN MAPLE
LR	ROUND-LOBED SWEET GUM
ADDITIONAL SHRUBS	
PB	BLUE SHAG WHITE PINE
FG	DWARF FOTHERGILLA
HJ	LITTLE LIME® PANICLE HYDRANGEA
IS	SHAMROCK INKBERRY HOLLY

## SEED MIX



## PROPOSED STREET LIGHT

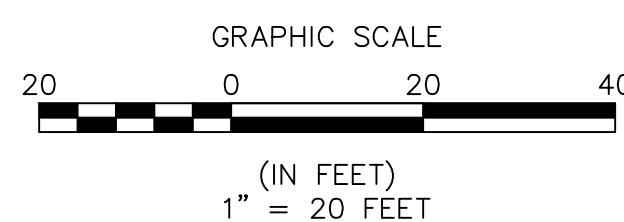


HADCO BY SIGNIFY URBAN CITY POST LED  
POST TOP WITH BLACK DECORATIVE POLE

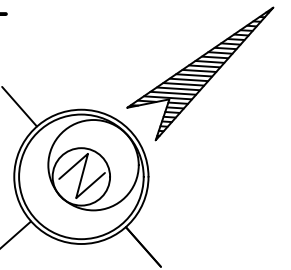
COLOR:	BLACK
PRODUCT FAMILY:	TX1
LAMP WATTAGE:	55 WATT
LAMP TYPE:	LED
DISTRIBUTION:	TYPE III

NOTES:

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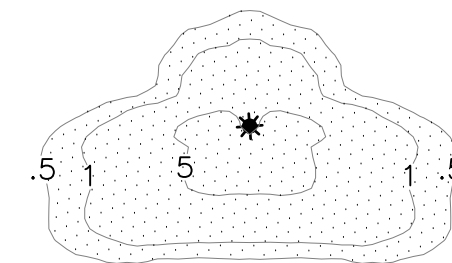






<u>CODE</u>	<u>COMMON NAME</u>
-------------	--------------------

## SEED MIX

PROPOSED STREET LIGHT


HADCO BY SIGNIFY URBAN CITY POST LED  
POST TOP WITH BLACK DECORATIVE POLE

COLOR:	BLACK
PRODUCT FAMILY:	TX1
LAMP WATTAGE:	55 WATT
LAMP TYPE:	LED
DISTRIBUTION:	TYPE III

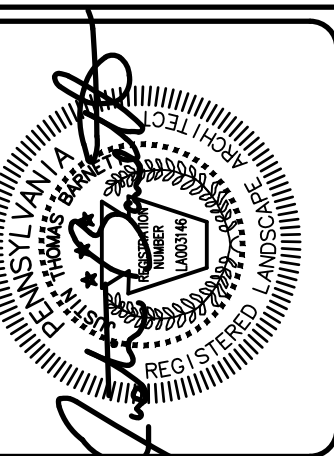
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GRAPHIC SCALE



(IN FEET)  
1" = 20 FEET



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1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

	REV	DATE	DESCRIPTION	DRAWN
	1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
	2	4/01/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
	1	6/07/24	REVISIONS PER TOWNSHIP COMMENTS	ESE
	4	1/01/24	REVISIONS PER TOWNSHIP COMMENTS	ESE

LANDSCAPE PLAN

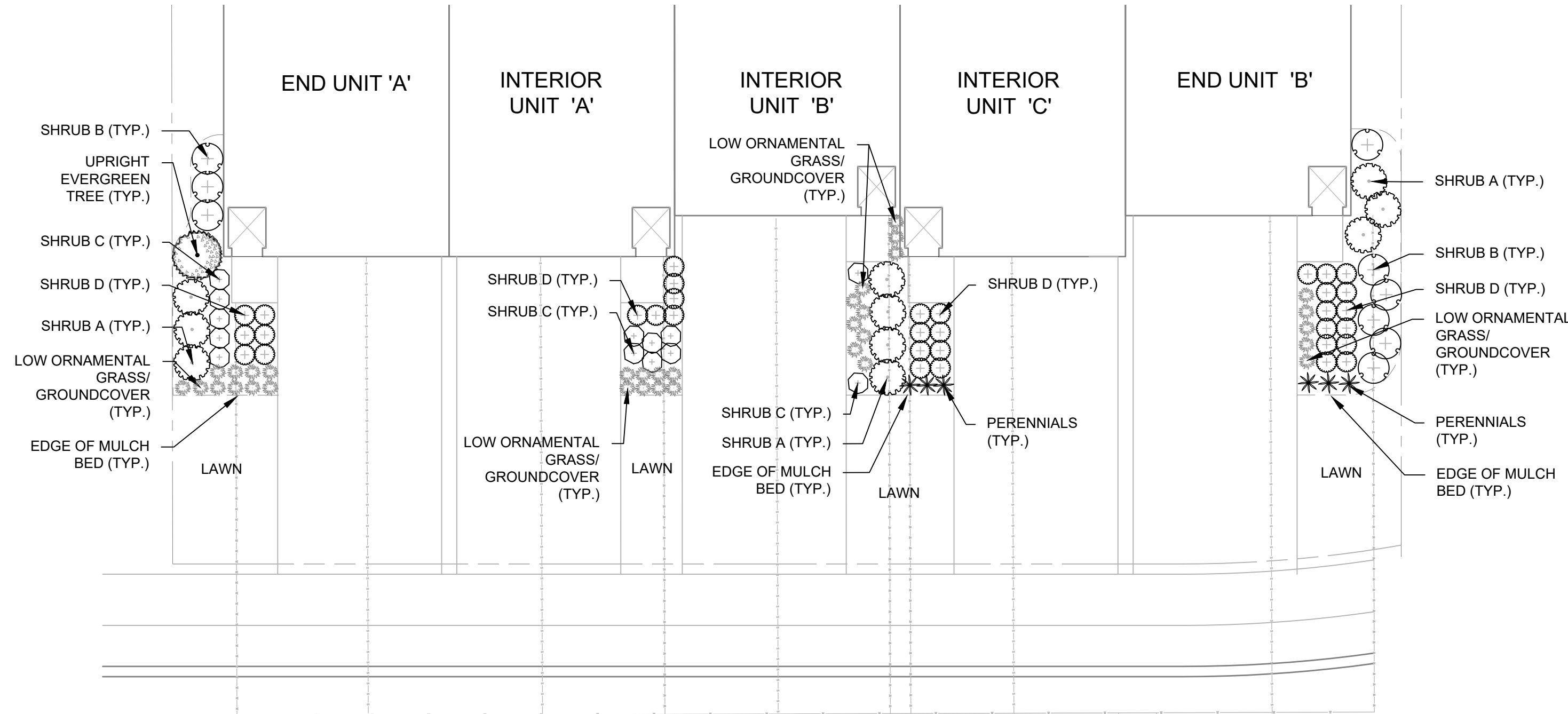
**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/2023	SCALE: 1"=20'
DESIGN: JMM	DRAWN: LAC
JOB NO.: 8363	FILE NAME: 8363-S-10-LAND
REF. NO.:	<b>SD10.06</b>
SHEET NO.:	<b>40</b> OF <b>43</b>









END UNIT 'A' - TYPICAL UNIT PLANT QUANTITIES

- UPRIGHT EVERGREEN
- SHRUB A - MEDIUM EVE. SHRUB
- SHRUB B - MEDIUM DEC. SHRUB
- SHRUB C - SMALL DEC. SHRUB
- SHRUB D - EVE. SHRUB
- LOW ORNAMENTAL GRASSES OR GROUNDCOVER

INTERIOR UNIT 'A' - TYPICAL UNIT PLANT QUANTITIES

- SHRUB A - MEDIUM EVE. SHRUB
- SHRUB C - SMALL DEC. SHRUB
- LOW ORNAMENTAL GRASSES OR GROUNDCOVER

INTERIOR UNIT 'B' - TYPICAL UNIT PLANT QUANTITIES

- SHRUB A - MEDIUM EVE. SHRUB
- SHRUB C - SMALL DEC. SHRUB
- LOW ORNAMENTAL GRASSES OR GROUNDCOVER

INTERIOR UNIT 'C' - TYPICAL UNIT PLANT QUANTITIES

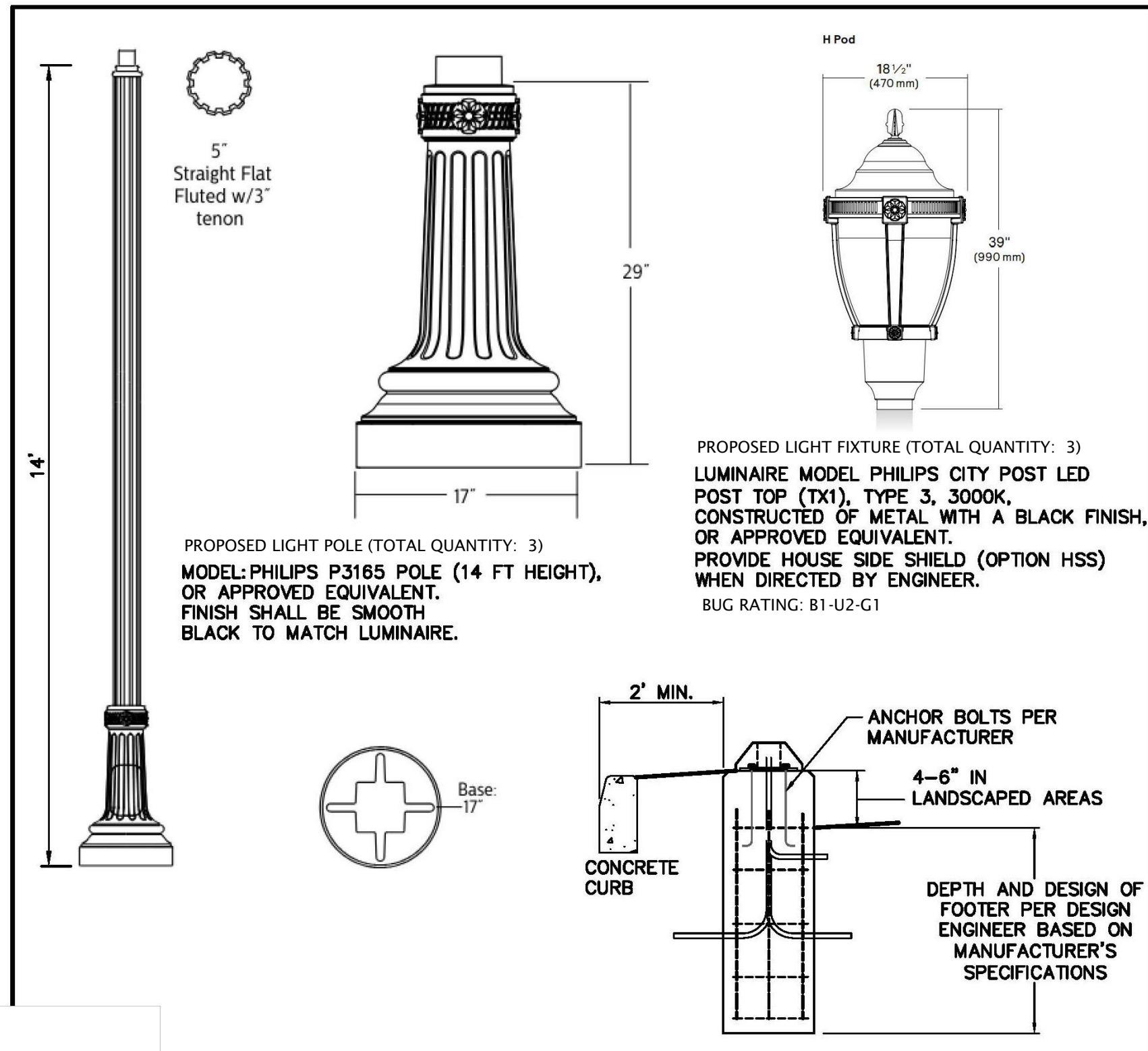
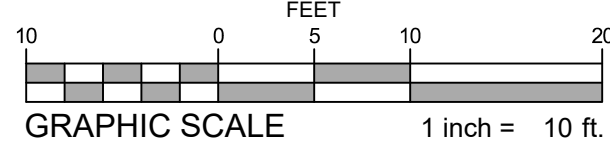
- SHRUB D - SMALL EVE. SHRUB
- PERENNIALS

END UNIT 'B' - TYPICAL UNIT PLANT QUANTITIES

- SHRUB A - MEDIUM EVE. SHRUB
- SHRUB B - MEDIUM DEC. SHRUB
- SHRUB D - SMALL EVE. SHRUB
- PERENNIALS
- LOW ORNAMENTAL GRASSES OR GROUNDCOVER

TYPICAL UNIT FOUNDATION PLANTING

SCALE: 1" = 10'



- NOTE:
- LIGHTS SHALL HAVE PHOTO CELL WITH DAWN-DUSK OPTION PROPOSED STREET LIGHT (TOTAL QUANTITY: 3)
  - FIXTURE AND POLE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - THREE INCHES OF CONCRETE COVER SHALL BE PROVIDED OVER ALL REINFORCEMENT BARS.
  - PROVIDE GROUND ROD BONDED TO FIXTURE AS REQUIRED BY CODE.
  - ELECTRICAL CONDUIT DEPTH SHALL BE PER CODE REQUIREMENTS.
  - FOOTING DEPTH MAY VARY DUE TO UNSUITABLE SUB-SURFACE SOIL CONDITIONS. VERIFY IN FIELD AND NOTIFY ENGINEER IF UNSUITABLE CONDITIONS EXIST.

LIGHT FIXTURE AND POLE SPECIFICATIONS (or approved equal)

NOT TO SCALE



PET WASTE STATION  
NOT TO SCALE



TYPICAL BENCH

NOT TO SCALE



- PRODUCT INFORMATION:
- Trash Receptacle Manufacturer: Victor Stanley  
Receptacle Type: FC-12  
Color: Black  
Quantity: 3

Contact Information:  
Website: www.victorstanley.com  
Telephone: 1-800-368-2573

(or approved equal)

TRASH RECEPTACLE

NOT TO SCALE



All Aluminum Construction  
SALSBUURY  
Made in America to Quality Since 1987

PRODUCT INFORMATION:

Mailbox Unit Information: Cluster Box Unit with 13 Doors and 1 Parcel Locker with USPS access - Type IV

Mailbox Unit Manufacturer: Salsbury Industries  
Model Information: #3312BLK-U  
Dimensions: 31" W x 71.75" W x 18.5" D  
Color: Black

Quantity: 3

Contact Information:  
Website: www.mailboxes.com  
Telephone: 1-800-624-5269

(or approved equal)

MAILBOX CLUSTER UNIT

NOT TO SCALE



- PRODUCT INFORMATION:
- Bike Rack Manufacturer: Victor Stanley  
Type: BRBS-103  
Color: Black  
Quantity: 3

Contact Information:  
Website: www.victorstanley.com  
Telephone: 1-800-368-2573

(or approved equal)

BIKE RACK

NOT TO SCALE

NOTE: THESE PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSES ONLY.

NEW BRITAIN CTP- TYPICAL UNIT LANDSCAPE - PLANT LIST

Symbol	Upright Evergreen Tree - 4'-5' Ht.	
	lex. Dragon Lady	Dragon Lady Holly
	Picea abies 'Eupressoid'	Columnar Norway Spruce
	Picea pungens 'Glauca Fastigiata'	Columnar Blue Spruce
	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae

Symbol	Shrub A - Medium Evergreen - 3 Gal.	
	Ilex glabra 'Neroli'	Shamrock Hollyherry
	Ilex x meserveae 'Blue Princess' *plant with 1 male for berries	Blue Princess Holly (Female)
	Ilex x meserveae 'Blue Prince' *2 needed as pollinator	Blue Prince Holly (Male)
	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel
	Rhododendron x 'PINK'	Pink Rhododendron

Symbol	Shrub B - Medium Deciduous - 3 Gal.	
	Hydrangea arborescens 'Invincibelle Ruby'	Invincibelle Ruby Hydrangea
	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea
	Little Henry Sweetgum	Little Henry Sweetgum
	Rosa x 'Raidio' or 'Sunny Knockout'	Pink or Yellow Flowering Knock Out Rose
	Physocarpus opulifolius 'Summer Wine' or 'Coppertina'	Ninebark cultivar
	Weigela 'Wine and Roses'	Wine and Roses Weigela

Symbol	Shrub C - Small Deciduous 30" Min. Ht.	
	Ostrya virginica 'Hummingbird'	Hummingbird Summerweet
	Forbesia gardenii	Dwarf Forbesia
	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea
	Weigela 'Spilled Wine'	Spilled Wine Weigela

Symbol	Shrub D - Small Evergreen 30" Min. Ht.	
	Ardisia cuneata 'Variegata'	Enoree Azalea
	Buxus 'Green Mountain' (Pyramidal Form)	Green Mountain Boxwood
	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly
	Ilex glabra 'Gem Box'	Gem Box Holly
	Thuja occidentalis 'Hetz Midget'	Hetz Midget Arborvitae

Symbol	Perennials - 2 Gal.	
	Sun/Part Shade	
	Alchemilla mollis	Lady's Mantle
	Coreopsis verticillata 'Moonbeam'	Moonbeam Threadleaf Coreopsis
	Nemesis 'Stella de Oro' or 'Purple de Oro'	Dwarf Blooming Daylily
	Leucanthemum superbum 'Snow Cap'	Snow Cap Shasta Daisy
	Nepeta racemosa 'Little Trudy' or 'Walker's Low'	Walker's Low or Little Trudy Catmint
	Rudbeckia fulgida var. 'sulfurina' 'Little Goldstar'	Little Goldstar Black-eyed Susan
	Sedum 'Black Beauty'	Black Beauty Sedum
	Part Shade/Full Shade	
	Astilbe 'Aurea' 'Festiva' or 'Amethyst'	Federese or Amethyst Astilbe
	Bergenia cordifolia	Heartleaf Bergenia
	Ceranium maculatum	Cranesbill
	Heuchera x 'Pum Pudding'	Pum Pudding Coral Bells
	Hosta varieties	Hosta

Symbol	Ornamental Grasses - 1 Gal / Groundcover - 1 Gal.	
	Sun/Part Shade	
	Sporobolus heteropogon	Prairie Dropseed
	Chloranthus garlandianus	Chandler Pink Dianthus
	Festuca glauca 'Tilgh Blue' or 'Beyond Blue'	Blue Fescue
	Liriodendron 'Big Blue' or 'Variegata'	Lilyturf
	Phlox subulata	Creeping Phlox
	Sedum x 'Vera Jameson'	Vera Jameson Sedum
	Part Shade/Full Shade	
	Carex pensylvanica	Pennsylvania Sedge
	Liriodendron 'Big Blue' or 'Variegata'	Lilyturf
	Phlox stolonifera 'Sherwood Purple'	Sherwood Purple 'Creeping Phlox
	Tweedia 'Sugar and Spice'	Sugar and Spice Tweedia

REV.	DATE	DESCRIPTION
4	11/01/24	REVISIONS PER TOWNSHIP COMMENTS
3	9/03/24	REVISIONS PER TOWNSHIP COMMENTS
2	4/11/24	REVISIONS PER TOWNSHIP COMMENTS
1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS

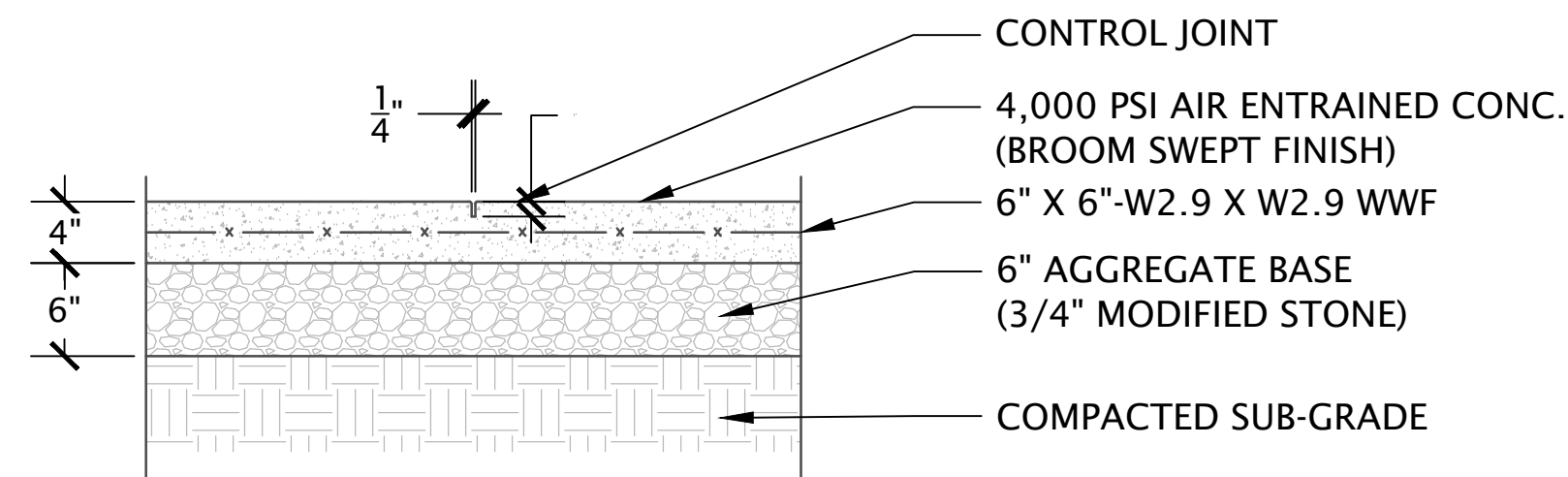
LANDSCAPE & LIGHTING  
NOTES & DETAILS

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 10/6/2023	SCALE: AS NOTED
DESIGN: JMM	DRAWN: LAC
JOB NO.: 8363	FILE NAME: 8363-S-10-DET-LAND
REF. NO.: SD10.08	
SHEET NO.: 42	OF 43



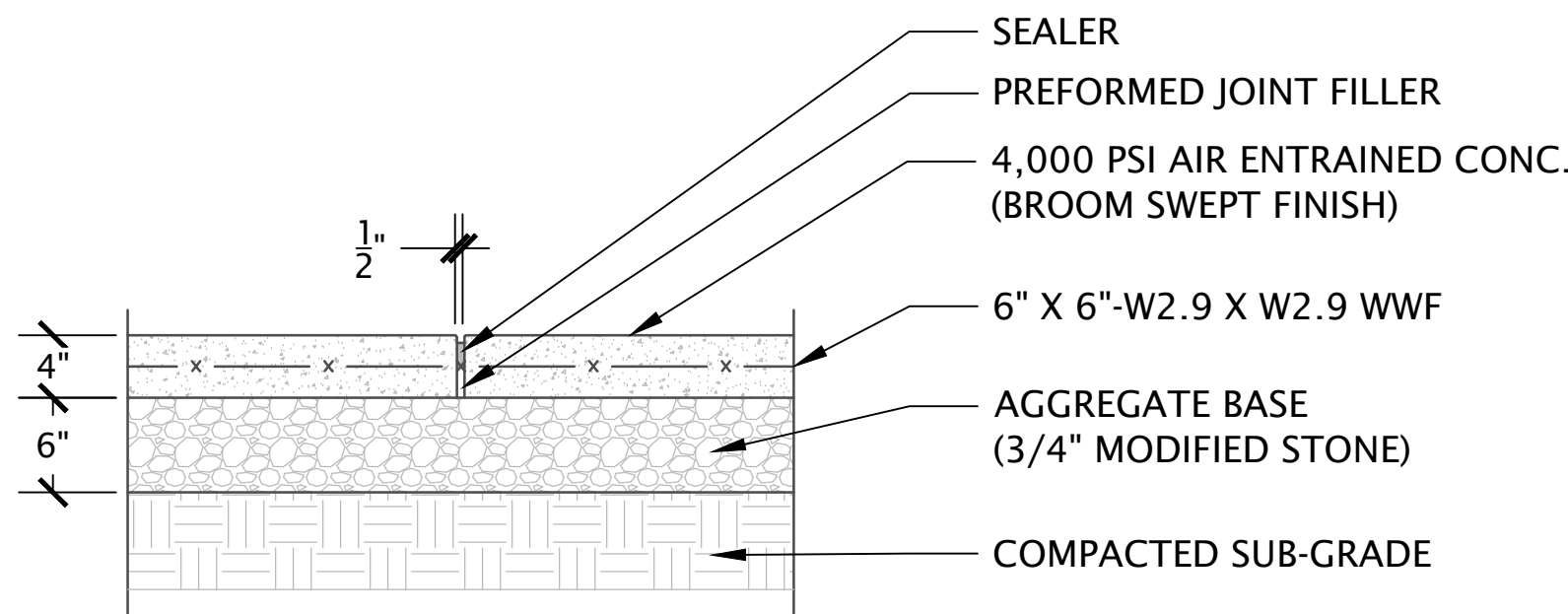
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NOTE:  
EDGE OF SLAB TO BE FINISHED WITH 1/8" RADIUS (TYP.)  
CONTROL JOINTS SET 5' O.C. (TYP)

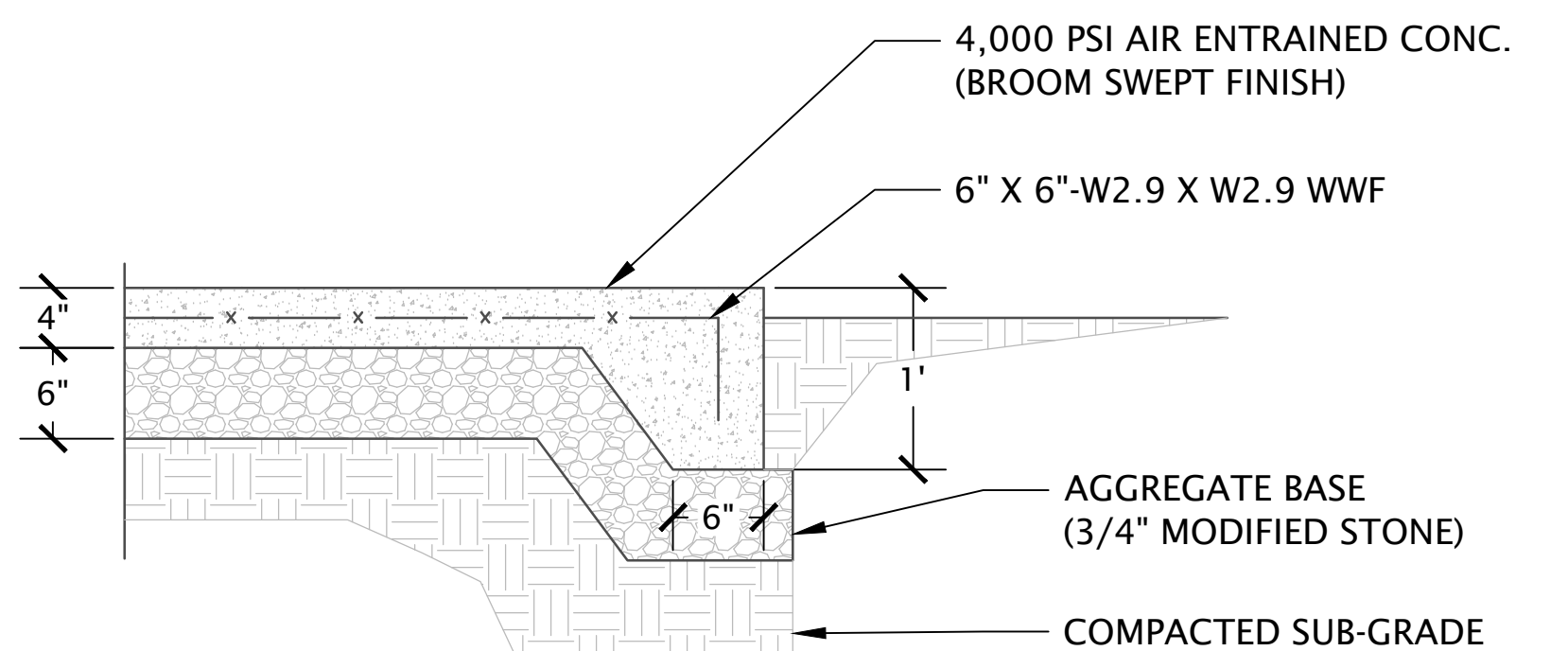
### CONCRETE PAVING - CONCRETE JOINT

SCALE: 1" = 1'



### CONCRETE PAVING - EXPANSION JOINT

SCALE: 1" = 1'



NOTE: EXPANSION JOINTS SHALL BE USED WHEREVER PAVING ABUTS BUILDING SLAB

### CONCRETE PAVING - END SECTION

SCALE: 1" = 1'



### STREAMLINE WALL MOUNT SINGLE PAR20 SPOTLIGHT

The Streamline Wall Mount Single PAR20 Spotlight Fixture is the perfect choice of spotlights for all types of sign lighting as well as for illuminating artwork and other items along a wall. Perfect for use indoors or outdoors in areas where winds are light, the light is easy to aim with its swiveling arm. The spread of light provided by the spot can be as wide as 3 feet and as high as 6 feet.

#### Specifications:

Mounting tips: For best results, install the light 18 inches above the targeted area or object. You can increase the spread of the spot light by taking out the glass lens; however, to do so safely, the light must be kept in an area away from water exposure, including precipitation, humidity and sprinklers. The light must also be installed at a downward angle for use without the lens.

Includes ceramic 120-volt 50W socket threaded for easy screw-in installation. You can use the light with any PAR20 lamp. No bulb is included, so that you can select the ideal lamp for your needs, even an LED bulb with a medium base socket for energy savings.

Customize the single spotlight fixture with a selection of three arm lengths: 12-inch, 18-inch, or a 24" arm. Additional lead time may be necessary for customized orders.

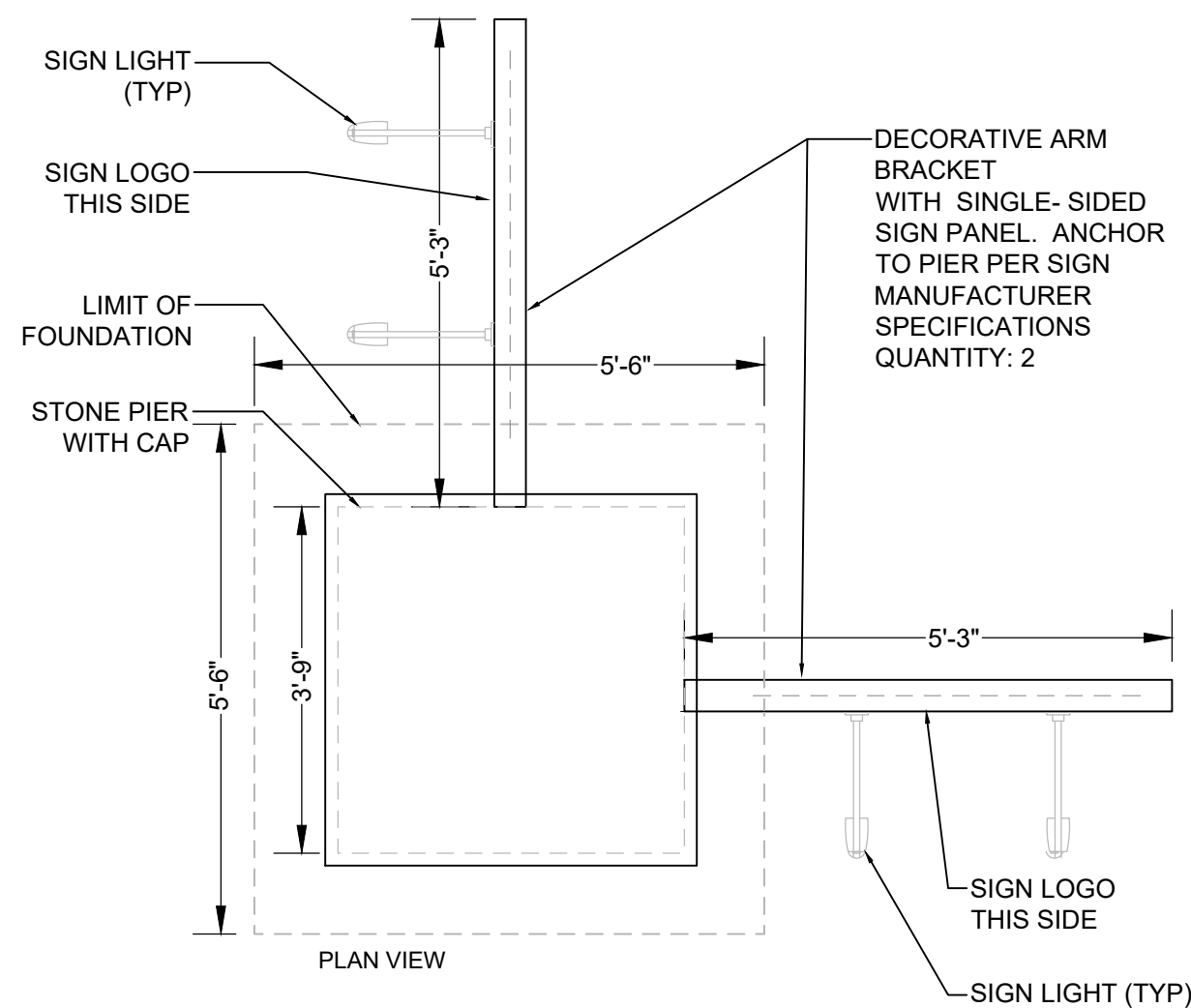
### SIGN LIGHT (Or Approved Equal)

SCALE: NTS

#### PRODUCT INFORMATION

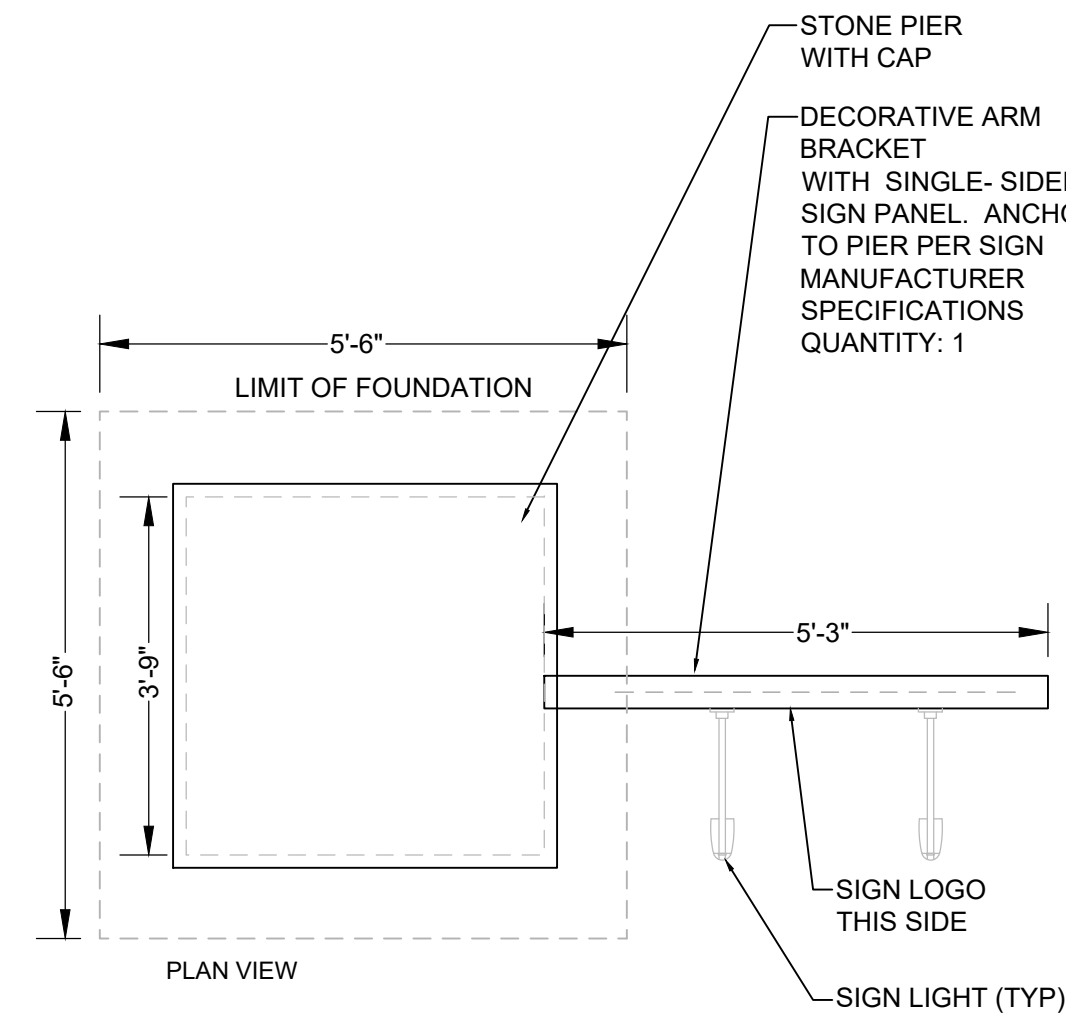
BULLET LIGHT BY SIGN BRACKET STORE  
MODEL NUMBER: D12-PAR20-SNGL  
ARM LENGTH: 18"  
COLOR: POWDER COATED BLACK  
WEBSITE: www.signbracketstore.com

**LIGHT QUANTITY:**  
MAIN ENTRANCE SIGN LIGHT QUANTITY: 4 ( 2 PER SIGN SIDE)  
ROAD B ENTRANCE SIGN LIGHT QUANTITY: 2 (2 PER SIGN SIDE)



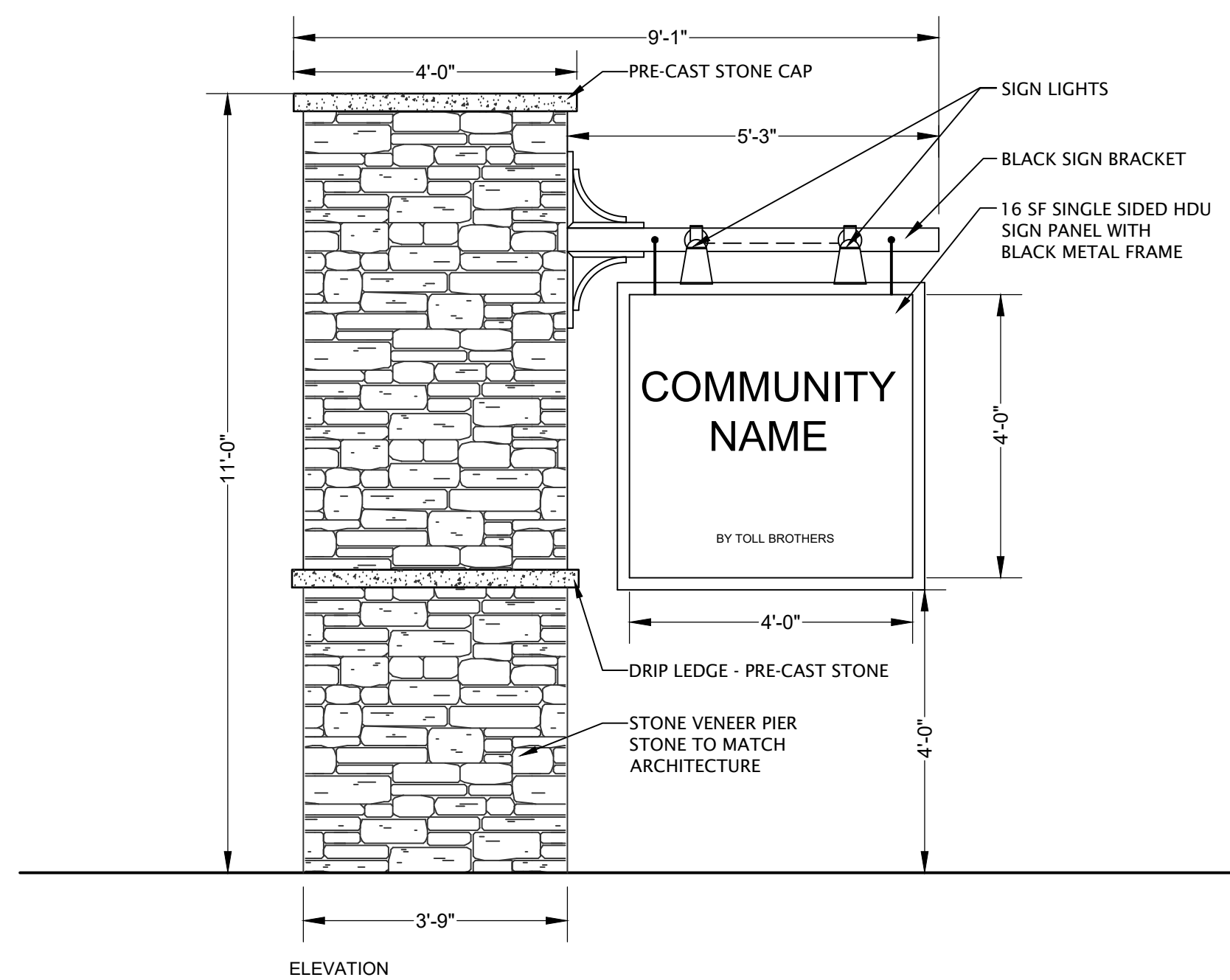
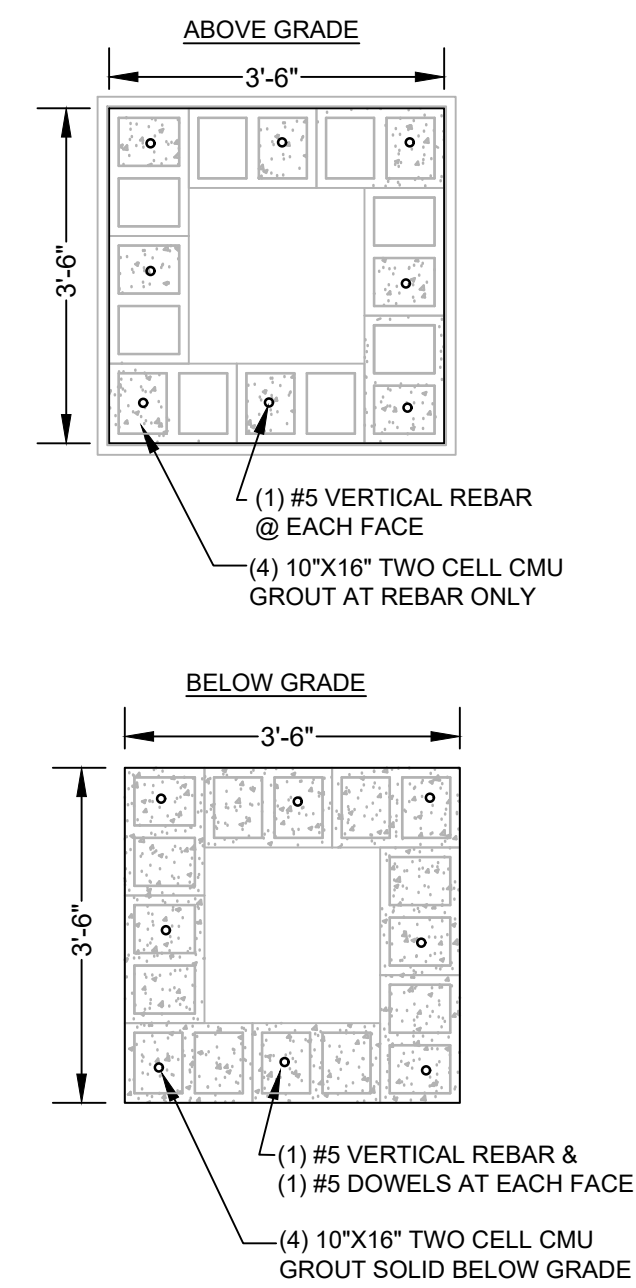
### ENTRY SIGN PIER @ MAIN ENTRANCE- PLAN VIEW

SCALE: 1" = 2'



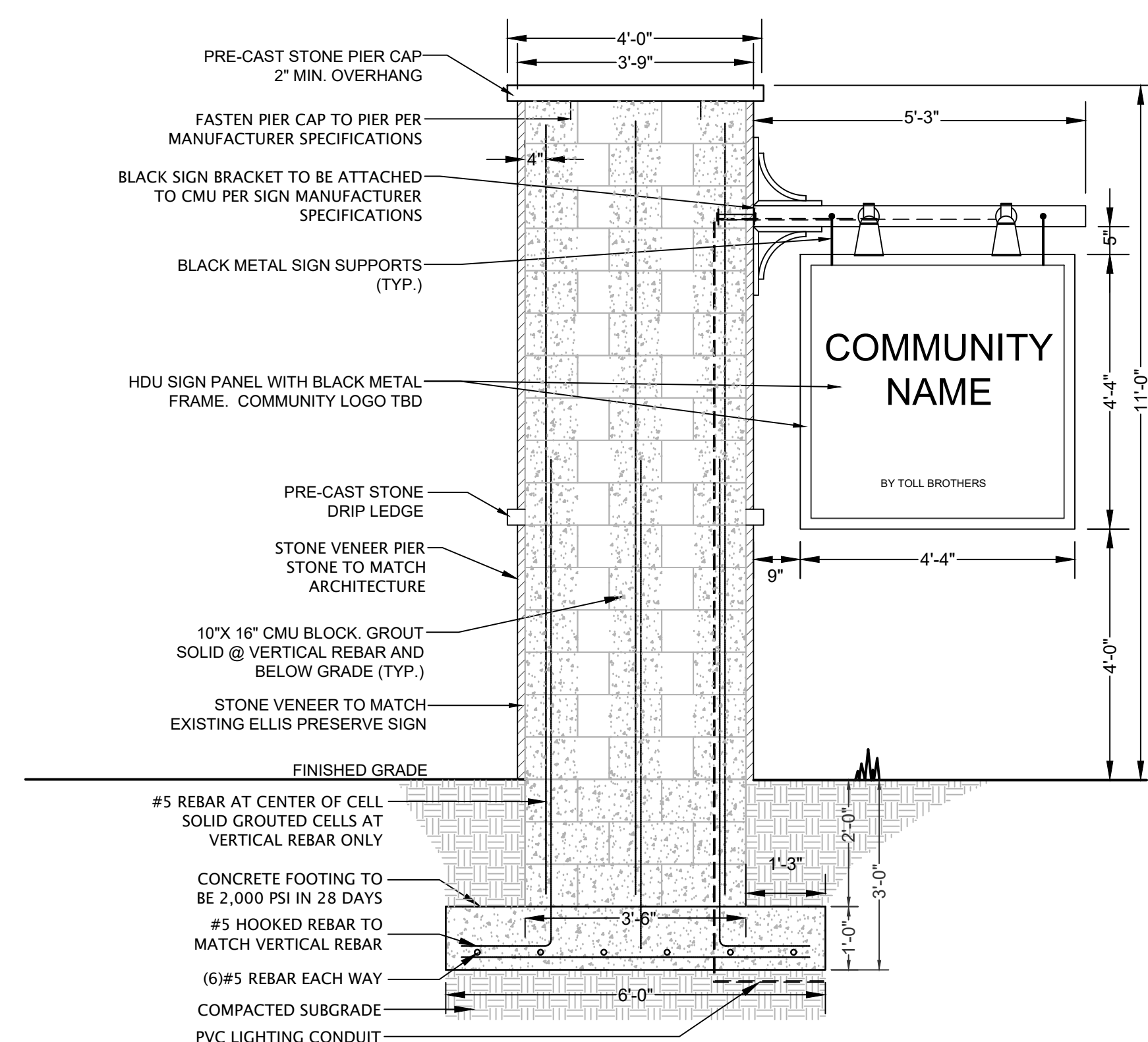
### ENTRY SIGN PIER @ ROAD B - PLAN VIEW

SCALE: 1" = 2'



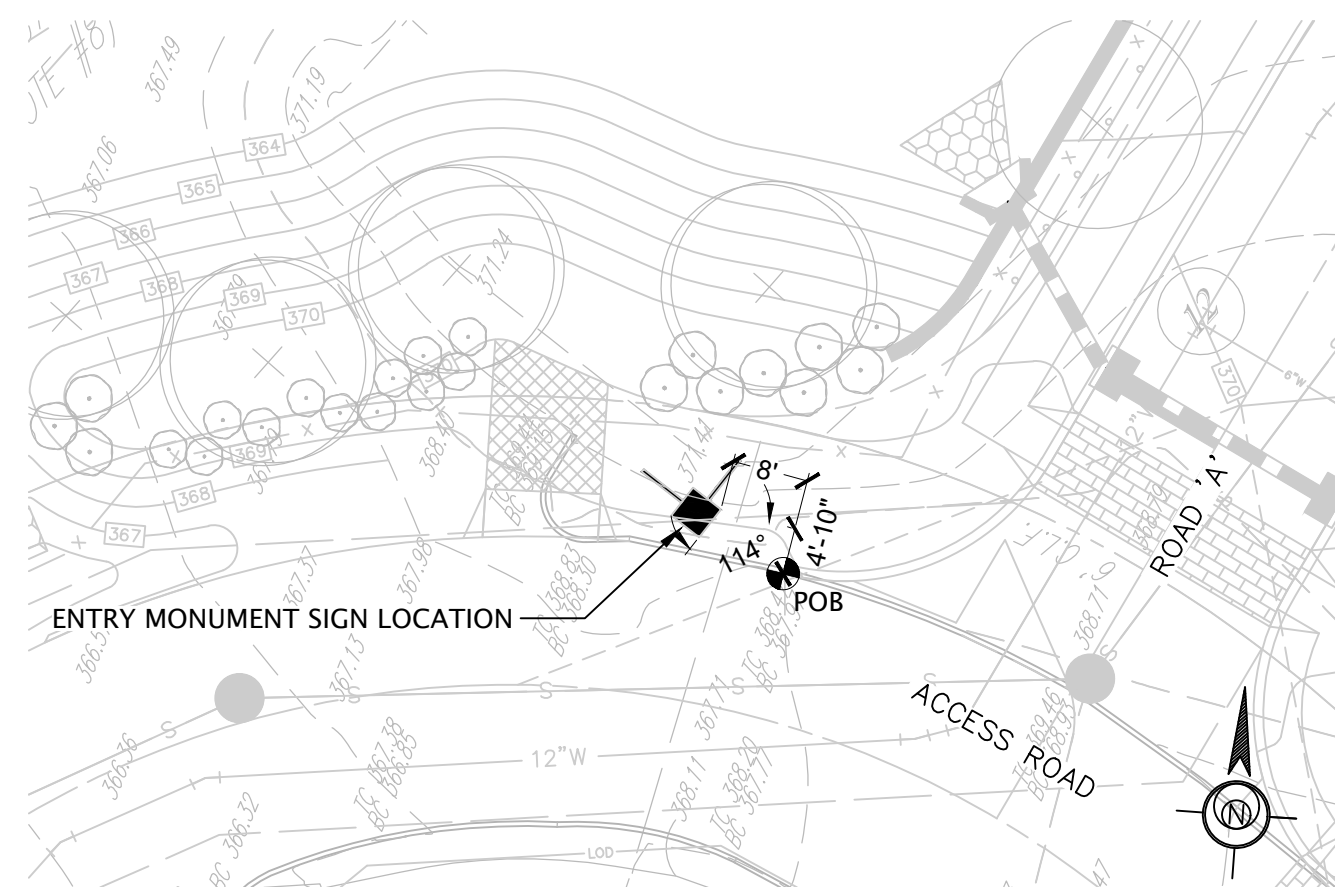
### ENTRY SIGN PIER ELEVATION

SCALE: 1" = 2'



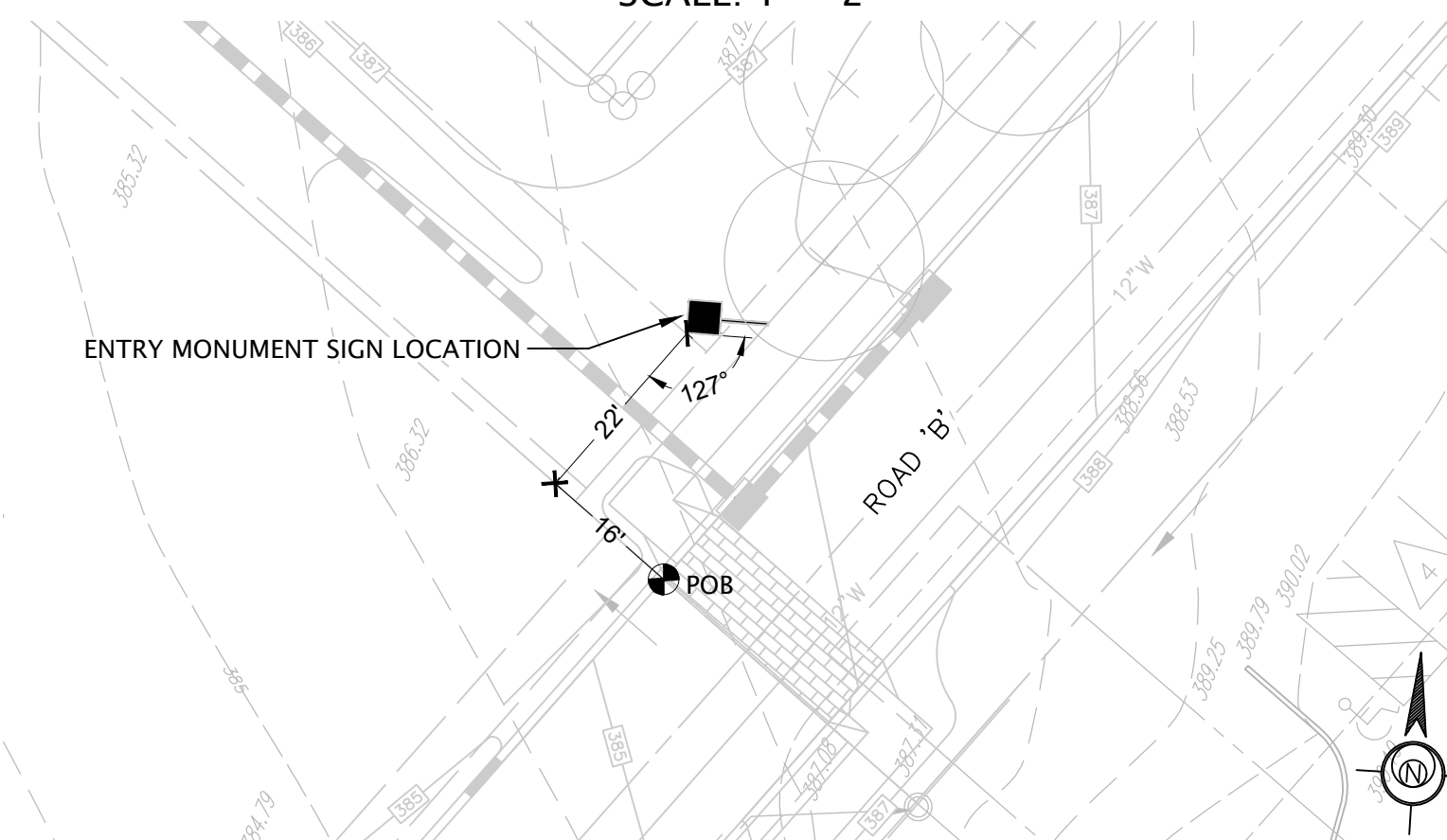
### ENTRY SIGN PIER DETAIL

SCALE: 1" = 2'



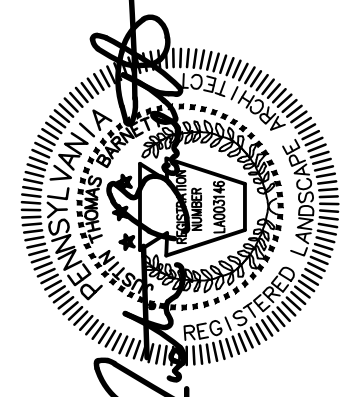
### ENTRY SIGN PIER LOCATION - MAIN ENTRANCE

SCALE: 1" = 20'



### ENTRY SIGN PIER LOCATION - ROAD B

SCALE: 1" = 20'



**ESE CONSULTANTS**  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
1140 Virginia Drive • Fort Washington, PA 19034  
T: 215-914-2050

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1	1/19/24	REVISIONS PER TOWNSHIP COMMENTS
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LANDSCAPE &  
SIGNAGE DETAILS

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

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DESIGN: JMM	DRAWN: LAC
JOB NO.: 8363	FILE NAME: 8363-S-10-DET-LAND
REF. NO.:	<b>SD10.09</b>
SHEET NO.:	<b>43</b> OF <b>43</b>